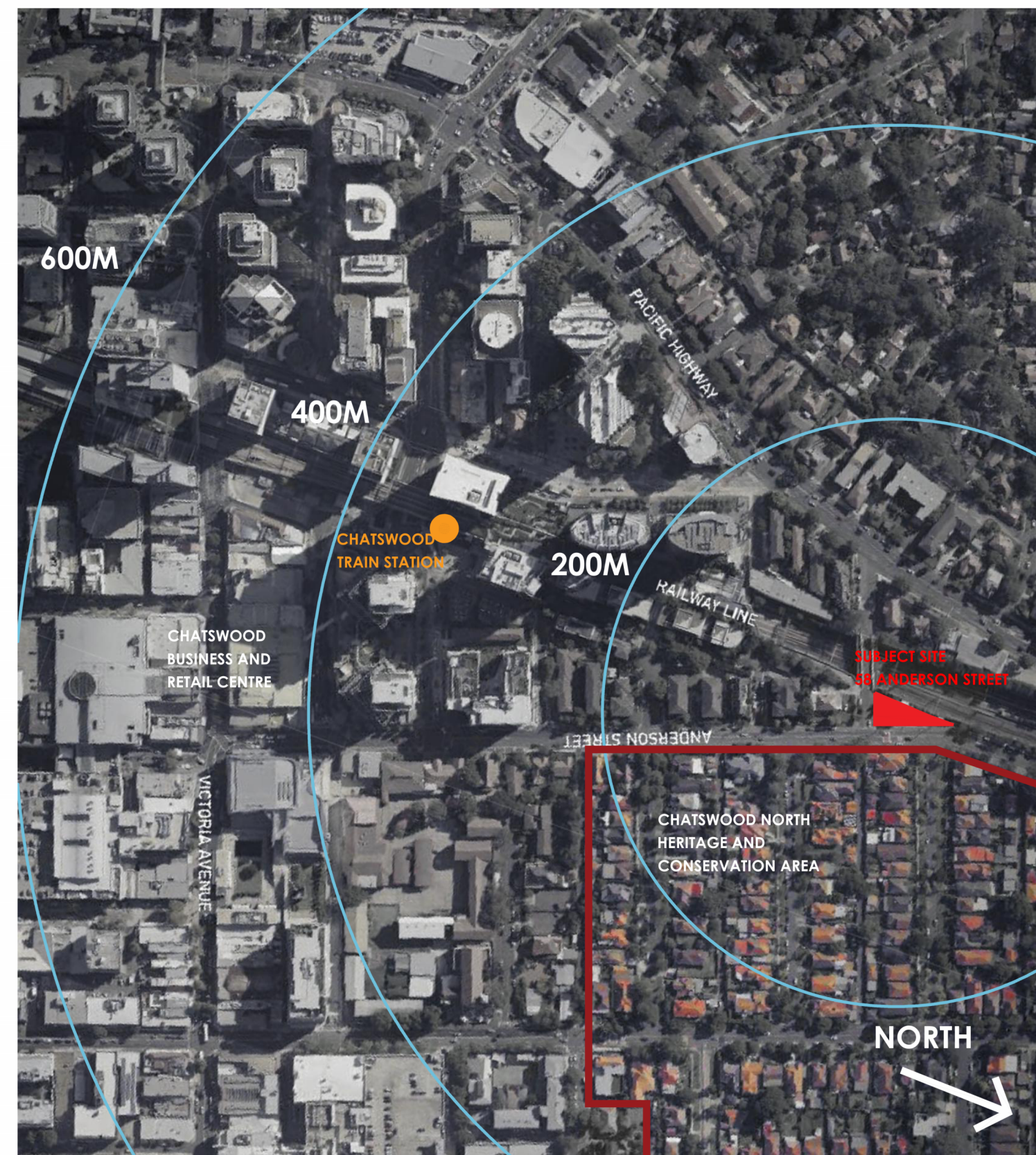


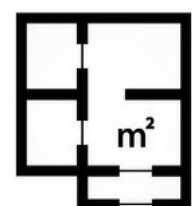
# PROPOSED MIXED USE DEVELOPMENT COMPRISING SHOP TOP HOUSING 58 ANDERSON STREET, CHATSWOOD

DRAWING LIST		
DRAWING NUMBER	DRAWING NAME	REVISION
A001	COVER SHEET	05
A010	SURVEY PLAN - PREPARED BY EAST WEST SURVEYORS PTY LTD.	03
A010A	SURVEY PLAN -PREPARED BY DAW & WALTON CONSULTING SURVEYORS.	01
A011	SITE PLAN	04
A012	DEMOLITION PLAN	02
A013	SITE ANALYSIS	02
A100	BASEMENT 3 FLOOR PLAN	04
A101	BASEMENT 2 FLOOR PLAN	03
A102	BASEMENT 1 FLOOR PLAN	05
A103	GROUND FLOOR PLAN	05
A104	LEVEL 1 FLOOR PLAN	04
A105	LEVEL 2 FLOOR PLAN	04
A106	LEVEL 3 FLOOR PLAN	05
A107	LEVEL 4 FLOOR PLAN	05
A108	LEVEL 5 - 7 TYPICAL FLOOR PLANS	05
A109	LEVEL 8 - 12 TYPICAL FLOOR PLANS	05
A110	LEVEL 13 PENTHOUSE	05
A111	LEVEL 14 PENTHOUSE	05
A112	ROOF PLAN	03
A113	ADAPTABLE UNIT PLANS- SHEET 1	03
A114	ADAPTABLE UNIT PLANS- SHEET 2	03
A115	ADAPTABLE UNIT PLANS- SHEET 3	03
A201	ANDERSON STREET (EAST) ELEVATION	03
A202	WILSON STREET (SOUTH) ELEVATION	03
A203	RAILWAY (WEST) ELEVATION	03
A204	NORTH ELEVATION	03
A205	MATERIALS AND FINISHES	03
A211	SECTION 1	03
A212	SECTION 2	03
A213	SECTION 3	03
A214	SITE SECTION (SECTION 2)	03
A218	DETAIL SECTION	03
A219	DETAIL SECTION SHEET 2	01
A300	HEIGHT PLAN ANALYSIS	03
A301	SHADOW DIAGRAMS - 21 JUNE	02
A302	SHADOW DIAGRAMS - 21 DEC	02
A303	SOLAR ACCESS VIEWS (WINTER SOLSTICE)	03
A304	SOLAR ACCESS VIEWS (SUMMER SOLSTICE)	03
A305	CROSS VENTILATION DIAGRAM	03
A306	GFA DIAGRAMS	04
A307	SOLAR ACCESS DIAGRAM	03
A308	STORAGE DIAGRAMS	02
A401	NOTIFICATION PLAN	02
A402	NOTIFICATION ELEVATIONS- SHEET 1	02
A403	NOTIFICATION ELEVATIONS- SHEET 2	02
A404	DRIVEWAY PROFILE DETAIL PLAN	03
A405	DRIVEWAY ELEVATION AND CROSS SECTIONS	03



## LOCATION PLAN

## DEVELOPMENT SUMMARY



**TOTAL GFA**

SITE AREA	565m <sup>2</sup>
TOTAL GROSS FLOOR AREA (GFA)	2,261m <sup>2</sup>
TOTAL FLOOR SPACE RATIO (FSR)	4:1

## CAR PARKING

RESIDENTIAL PARKING SPACES	6
RESIDENTIAL VISITOR PARKING SPACES	1
COMMERCIAL PARKING SPACES	1

## UNIT MIX

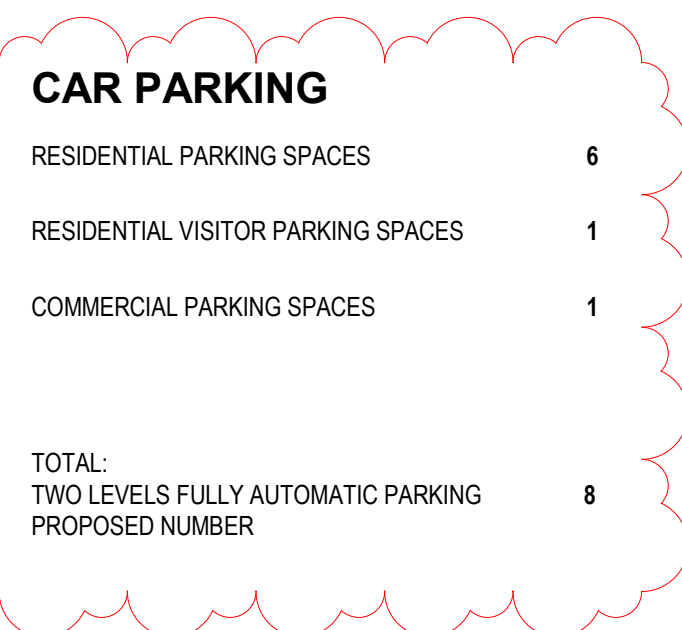
1 BEDROOM APARTMENTS	3 (23%)
2 BEDROOM APARTMENTS	4 (31%)
3 BEDROOM APARTMENTS	6 (46%)
TOTAL	13 UNITS

## RESIDENTIAL

GROSS FLOOR AREA (GFA)	1696m <sup>2</sup>
FLOOR SPACE RATIO (FSR)	3:1

COMMERCIAL

GF RETAIL	35m <sup>2</sup>
COMMERCIAL	530m <sup>2</sup>
FLOOR SPACE RATIO (FSR)	1:1



VIEW FROM ANDERSON STREET NORTH

<p>FIGURED DIMENSIONS SHALL BE USED IN PREFERENCE TO THOSE SCALES OF DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS</p> <p>THIS DRAWING WAS PREPARED FROM DRAWING AND SURVEY INFORMATION AVAILABLE AT THE TIME OF DRAFTING AND MAY VARY FROM ACTUAL MEASURED DIMENSIONS. VERIFY ALL DIMENSIONS &amp; LEVELS ON SITE PRIOR TO FABRICATION OF COMPONENTS OR COMMENCEMENT OF WORK ON SITE.</p>	<p>THIS DRAWING HAS BEEN PREPARED FROM INFORMATION MADE AVAILABLE FROM SURVEY DATA SURVEY 6185 ANDERSON STREET, CHATSWOOD NSW 2067 JOB NO. 3823-17 PREPARED BY DAH &amp; WATSON CONSULTING SURVEYORS DATED 03/10/2017 AND DETAIL SURVEY OF LOT 20 IN DP 1170751 No 48 ANDERSON STREET CHATSWOOD NSW 2067 REV NO. 225011 - DET REV 3, PREPARED BY EAST WEST SURVEYS PTY LTD. DATED: 04/02/2023.</p> <p>REFER TO SURVEY DRAWINGS FOR MORE INFORMATION.</p>	<p>Orientation</p> 	<p>05 24/01/2025 ADDITIONAL INFORMATION SHOWN AD</p>		<p>ARCHITECT:</p>  <p><b>DREW DICKSON ARCHITECTS</b> <small>Architects &amp; Planners</small> 20/21-22/23 Anderson St West CHATSWOOD NSW 2067 PHONE: 02 9550 8831 FAX: 02 9550 8832 EMAIL: info@drewdickson.com.au WWW: www.drewdickson.com.au</p>	<p>CLIENT:</p> <p><b>REZA VAKILI</b> <b>(THE PROPERTY OWNER)</b></p>	<p>PROJECT:</p> <p><b>PROPOSED SHOP TOP HOUSING DEVELOPMENT</b></p> <p>ADDRESS: <b>58 ANDERSON STREET CHATSWOOD, NSW, 2067</b></p>	<p>DRAWING</p> <p><b>COVER SHEET</b></p>	<table><tr><td>Drawing Scale @ A1:</td><td>Date:</td><td>Drawn by:</td></tr><tr><td></td><td>OCT 2022</td><td>KL</td></tr><tr><td colspan="3">Drawing Status:</td></tr><tr><td colspan="3">DEVELOPMENT APPLICATION</td></tr><tr><td>Project / Job No:</td><td>Drawing No:</td><td>Revision:</td></tr><tr><td>18014</td><td>A001</td><td>05</td></tr></table>	Drawing Scale @ A1:	Date:	Drawn by:		OCT 2022	KL	Drawing Status:			DEVELOPMENT APPLICATION			Project / Job No:	Drawing No:	Revision:	18014	A001	05
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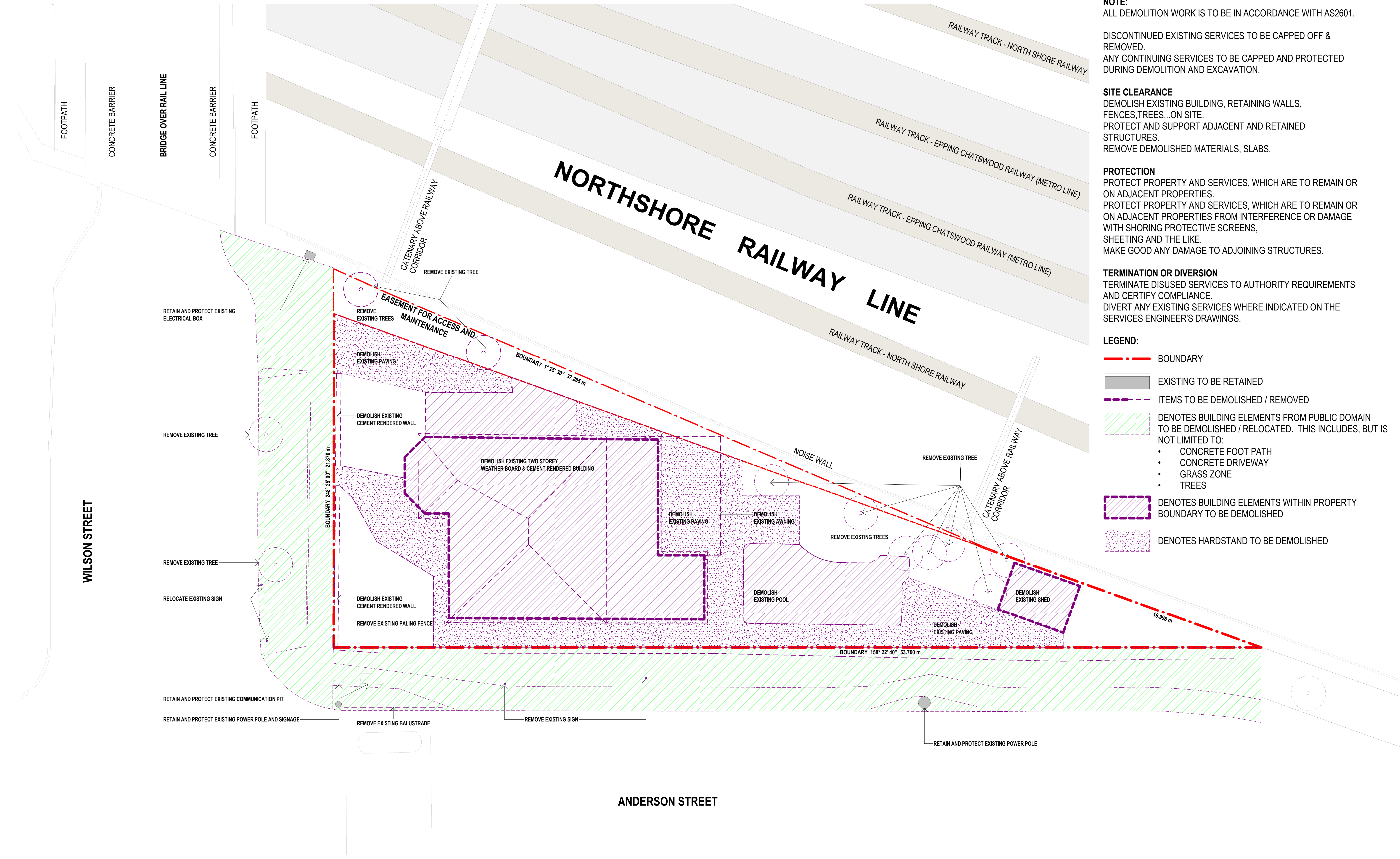












**NOTE:**  
ALL DEMOLITION WORK IS TO BE IN ACCORDANCE WITH AS2601.

DISCONTINUED EXISTING SERVICES TO BE CAPPED OFF & REMOVED.  
ANY CONTINUING SERVICES TO BE CAPPED AND PROTECTED DURING DEMOLITION AND EXCAVATION.

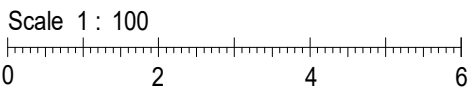
**SITE CLEARANCE**  
DEMOLISH EXISTING BUILDING, RETAINING WALLS, FENCES, TREES...ON SITE.  
PROTECT AND SUPPORT ADJACENT AND RETAINED STRUCTURES.  
REMOVE DEMOLISHED MATERIALS, SLABS.

**PROTECTION**  
PROTECT PROPERTY AND SERVICES, WHICH ARE TO REMAIN OR ON ADJACENT PROPERTIES.  
PROTECT PROPERTY AND SERVICES, WHICH ARE TO REMAIN OR ON ADJACENT PROPERTIES FROM INTERFERENCE OR DAMAGE WITH SHORING PROTECTIVE SCREENS, SHEETING AND THE LIKE.  
MAKE GOOD ANY DAMAGE TO ADJOINING STRUCTURES.

**TERMINATION OR DIVERSION**  
TERMINATE DISUSED SERVICES TO AUTHORITY REQUIREMENTS AND CERTIFY COMPLIANCE.  
DIVERT ANY EXISTING SERVICES WHERE INDICATED ON THE SERVICES ENGINEER'S DRAWINGS.

- LEGEND:**
- BOUNDARY
  - EXISTING TO BE RETAINED
  - ITEMS TO BE DEMOLISHED / REMOVED
  - DENOTES BUILDING ELEMENTS FROM PUBLIC DOMAIN TO BE DEMOLISHED / RELOCATED. THIS INCLUDES, BUT IS NOT LIMITED TO:
    - CONCRETE FOOT PATH
    - CONCRETE DRIVEWAY
    - GRASS ZONE
    - TREES
  - DENOTES BUILDING ELEMENTS WITHIN PROPERTY BOUNDARY TO BE DEMOLISHED
  - DENOTES HARDSTAND TO BE DEMOLISHED

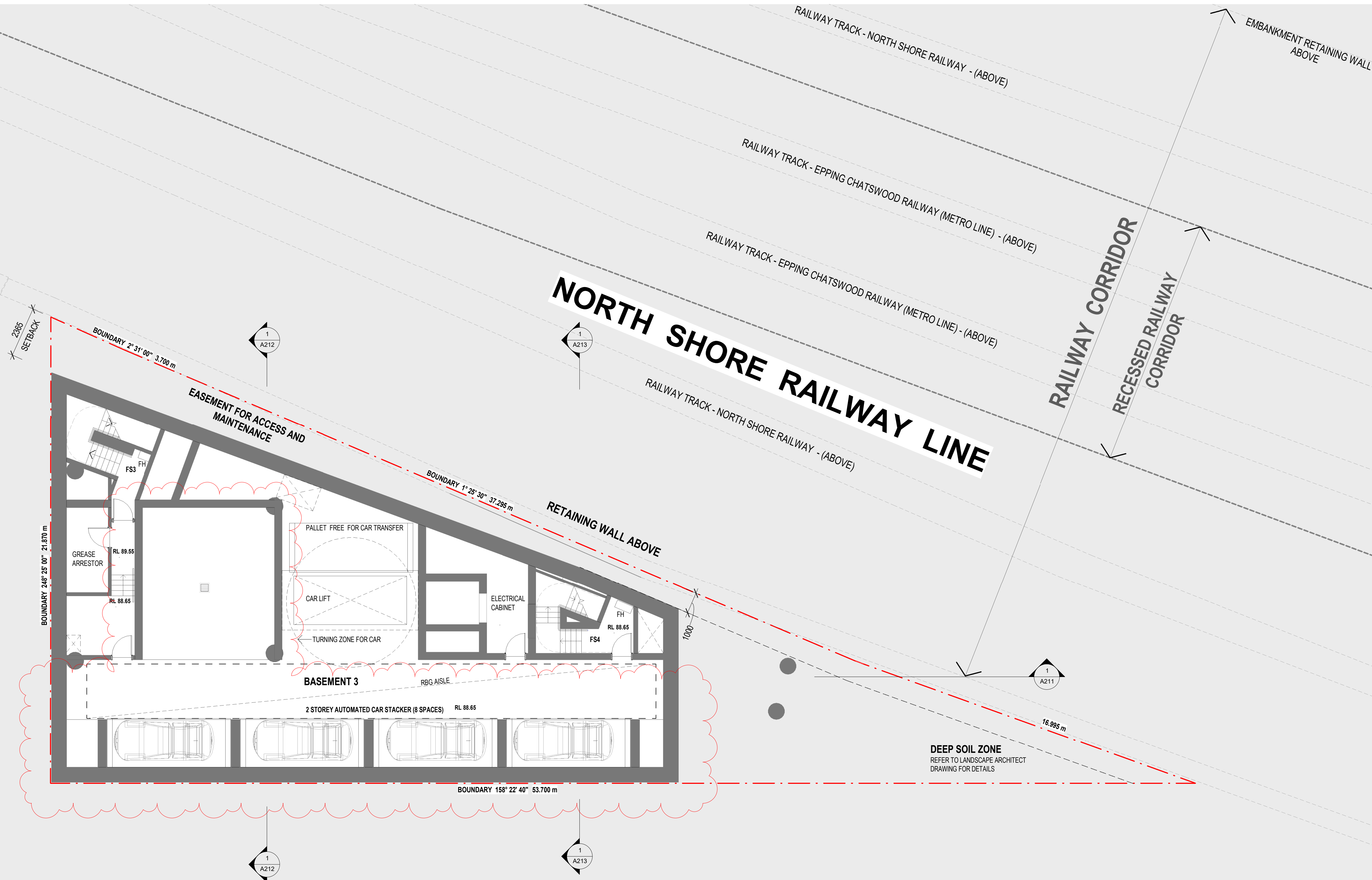
1 DEMOLITION PLAN  
1 : 100



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BRIDGE ABOVE



1 BASEMENT 3 FLOOR PLAN  
1 : 100



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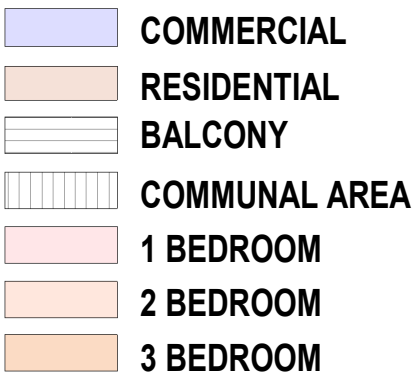










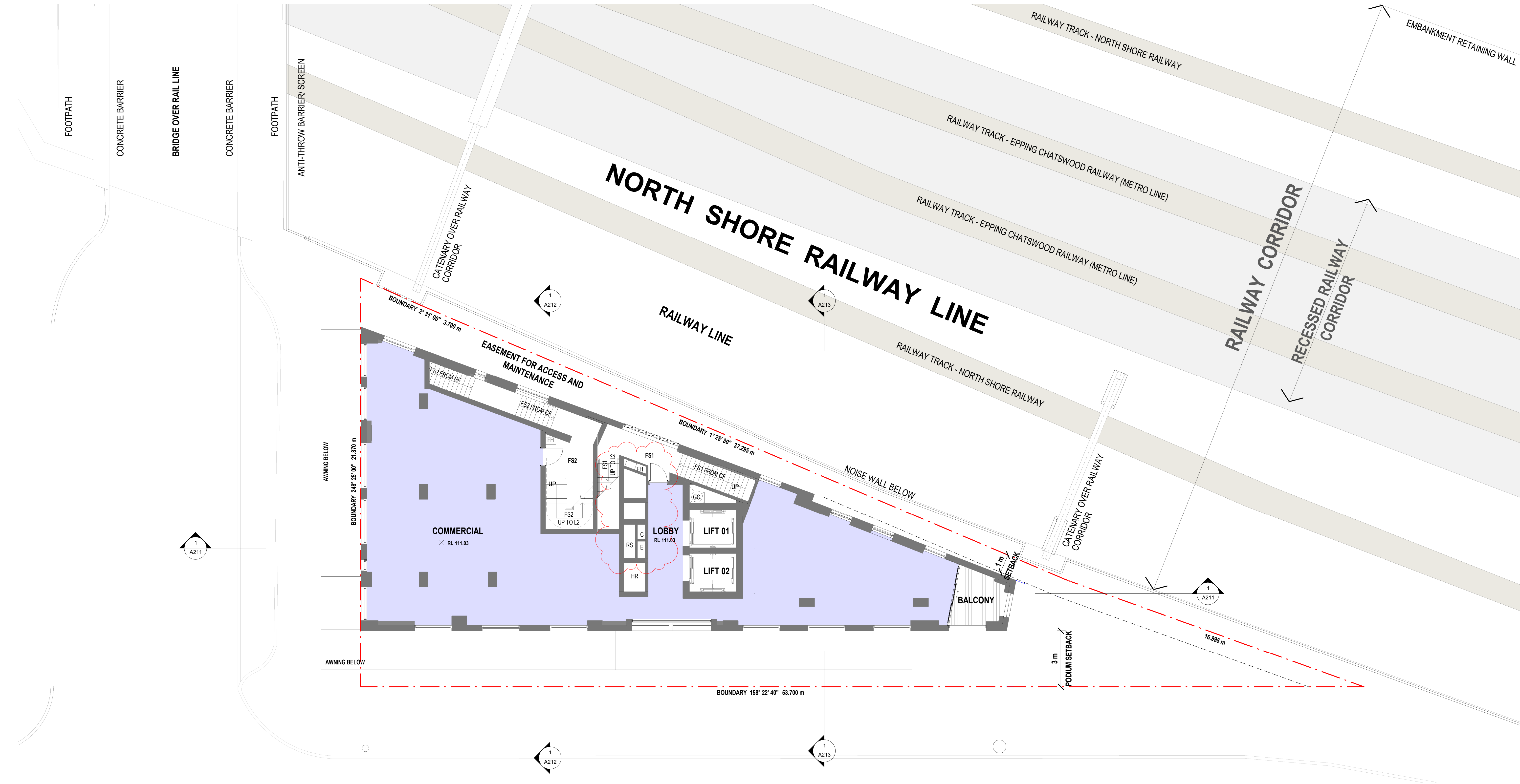




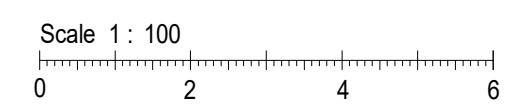
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<p>MEASURED DIMENSIONS SHALL BE USED IN PREFERENCE TO THOSE SCALED OFF. DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALES DRAWINGS.</p> <p>THIS DRAWING WAS PREPARED FROM DRAWING AND SURVEY INFORMATION AVAILABLE AT THE TIME OF DRAFTING AND MAY VARY FROM ACTUAL SITE MEASURED DIMENSIONS. VERIFY ALL DIMENSIONS &amp; LEVELS ON SITE PRIOR TO FABRICATION OF COMPONENTS OR COMMENCEMENT OF WORK ON SITE.</p> <p>REFER TO SURVEY DRAWINGS FOR MORE INFORMATION.</p>	<p>Orientation:</p> 	05	06/12/2024	ADDITIONAL INFORMATION SHOWN	EO	<p>ARCHITECT:</p>  <p><b>DREW DICKSON ARCHITECTS</b></p> <p>Nominated Architect: Alessandro de Balth</p> <p>ABN 12 168 662 153 SUITE 2 GROUND FLOOR 83-ALEXANDER STREET CROWNS NEST NSW 1585 AUSTRALIA Tel: +61 2 96934543 Email: info@drewdickson.com.au Web: www.drewdickson.com.au</p>	<p>CLIENT:</p> <p><b>REZA VAKILI (THE PROPERTY OWNER)</b></p>	<p>PROJECT:</p> <p><b>PROPOSED SHOP TOP HOUSING DEVELOPMENT</b></p> <p>ADDRESS: 58 ANDERSON STREET CHATSWOOD, NSW, 2067</p>	<p>DRAWING</p> <p><b>GROUND FLOOR PLAN</b></p>	<p>Drawing Scale @ A1: Date: Drawn by:</p> <p><b>1 : 100 OCT 2022 KL</b></p>
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		03	07/08/2024	ISSUED FOR COUNCIL RFI	EO					
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1 LEVEL 1 FLOOR PLAN  
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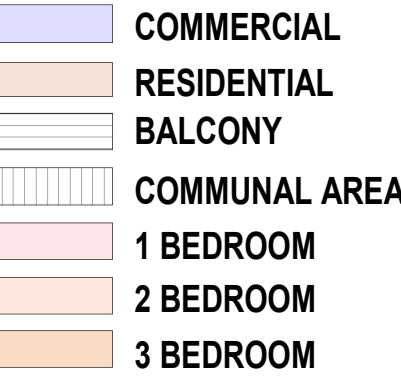


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			ISSUE	DATE	DESCRIPTION	ISSUED BY																						
				<div>ARCHITECT:</div> <div><div>DREW DICKSON ARCHITECTS</div><div><small>Notified Architect, Alexander de Babel DREW DICKSON ARCHITECTS PTY LIMITED SUITE 2, GROUND FLOOR, 85 ALEXANDER STREET CROWS NEST NSW 2085 AUSTRALIA Tel: +61 2 99613433 Email: info@dickson-architects.com Web: www.dickson-architects.com</small></div></div>		<div>CLIENT:</div> <div>REZA VAKILI (THE PROPERTY OWNER)</div>		<div>PROJECT:</div> <div>PROPOSED SHOP TOP HOUSING DEVELOPMENT</div> <div>ADDRESS: 58 ANDERSON STREET CHATSWOOD, NSW, 2067</div>	<div>DRAWING</div> <div>LEVEL 1 FLOOR PLAN</div>	<table><tr><td>Drawing Scale @ A1:</td><td>Date:</td><td>Drawn by:</td></tr><tr><td>1 : 100</td><td>OCT 2022</td><td>KL</td></tr><tr><td colspan="3">Drawing Status:</td></tr><tr><td colspan="3">DEVELOPMENT APPLICATION</td></tr><tr><td>Project / Job No:</td><td>Drawing No:</td><td>Revision:</td></tr><tr><td>18014</td><td>A104</td><td>04</td></tr></table>	Drawing Scale @ A1:	Date:	Drawn by:	1 : 100	OCT 2022	KL	Drawing Status:			DEVELOPMENT APPLICATION			Project / Job No:	Drawing No:	Revision:	18014	A104	04
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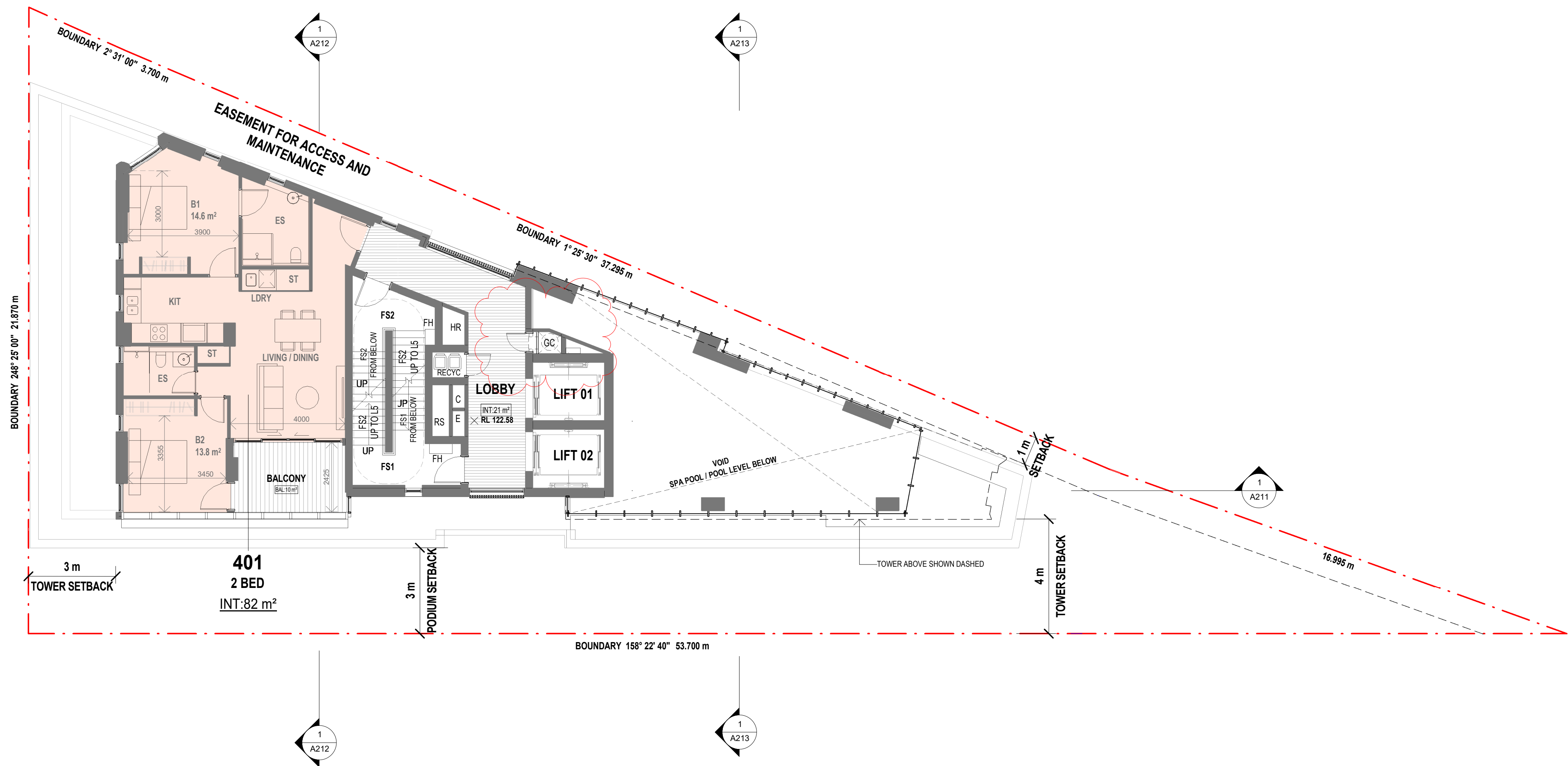




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			04	14/10/2024	ISSUE FOR COUNCIL RFI	EO							
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<p>ARCHITECT:</p>  <p><b>DREW DICKSON ARCHITECTS</b></p> <p><small>Nominated Architect: Alexander de Balle Architects Reg. No. 8330 DREW DICKSON ARCHITECTS PTY LIMITED ABN 17 58 866 163 SUITE 1, GROUND FLOOR, 81 ALEXANDER STREET CROWNS NEST NSW 2008 AUSTRALIA Tel: +61 2 99573433 Email: info@drewdickson.com Web: www.drewdickson.com</small></p>								<p>CLIENT:</p> <p><b>REZA VAKILI (THE PROPERTY OWNER)</b></p>	<p>PROJECT:</p> <p><b>PROPOSED SHOP TOP HOUSING DEVELOPMENT</b></p> <p>ADDRESS: 58 ANDERSON STREET CHATSWOOD, NSW, 2067</p>	<p>DRAWING</p> <p>Drawing Scale @ A1: <b>1 : 100</b></p> <p>Drawing Status:</p>	<p>Date: <b>OCT 2022</b></p> <p>Drawn by: <b>KL</b></p>	<p><b>LEVEL 3 FLOOR PLAN</b></p> <p><b>DEVELOPMENT APPLICATION</b></p>	<p>Project / Job No: <b>18014</b></p> <p>Drawing No: <b>A106</b></p> <p>Revision: <b>05</b></p>



1 LEVEL 4 FLOOR PLAN  
1 : 100



- |      |                  |               |
|------|------------------|---------------|
| B#   | BEDROOM          | COMMERCIAL    |
| BA   | BATHROOM         | RESIDENTIAL   |
| ES   | ENSUITE BATHROOM | BALCONY       |
| FS#  | FIRE STAIR       | COMMUNAL AREA |
| KIT  | KITCHEN          | 1 BEDROOM     |
| LDRY | LAUNDRY          | 2 BEDROOM     |
| S    | STUDY ROOM       | 3 BEDROOM     |
| ST   | STORAGE          |               |
| WIR  | WALK-IN ROBE     |               |

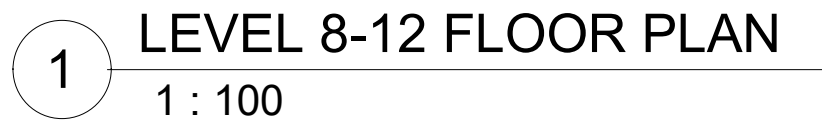


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<p>ARCHITECT:</p> <p>DREW DICKSON ARCHITECTS</p> <p>Not a registered Architect. Alexander de Balle Architects Reg. No. 8333 DREW DICKSON ARCHITECTS PTY LIMITED SUITE 2, GROUND FLOOR, 8-ALEXANDER STREET CROWS NEST NSW 2083 AUSTRALIA Tel: +61 2 99613433 Email: info@dida-architects.com Web: www.dida-architects.com</p>																								
<p>CLIENT:</p> <p>REZA VAKILI (THE PROPERTY OWNER)</p>																								
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<p>DRAWING</p> <p>LEVEL 4 FLOOR PLAN</p>																								
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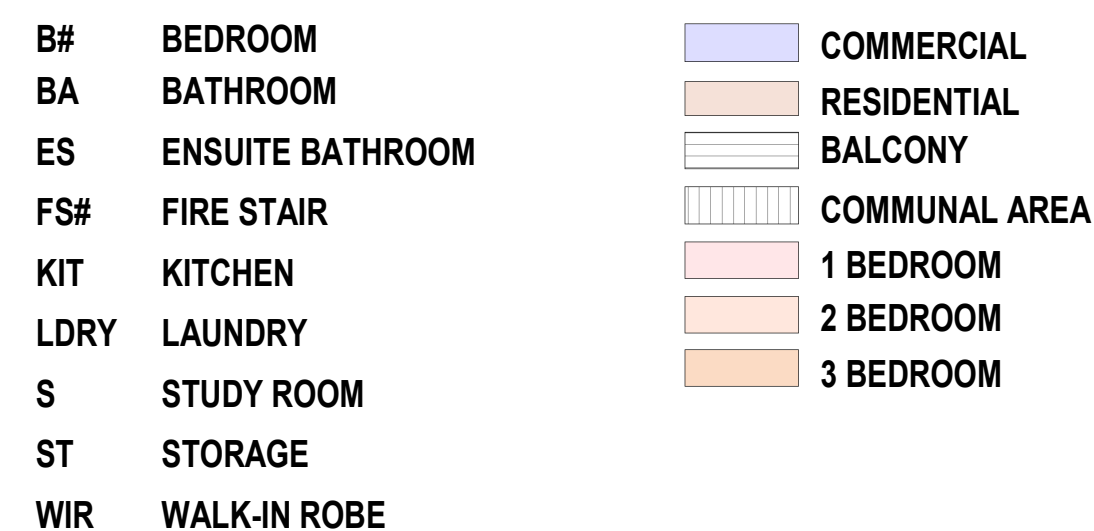
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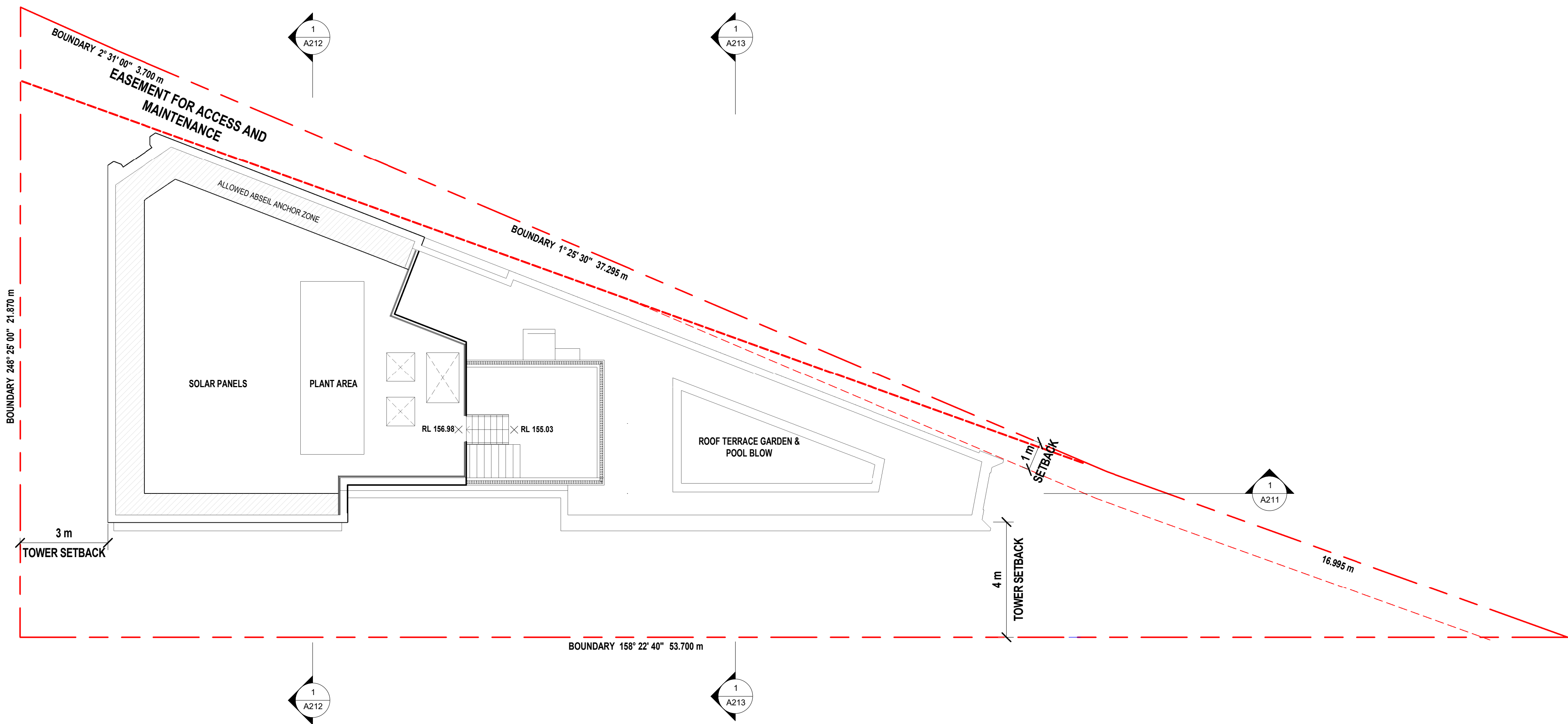




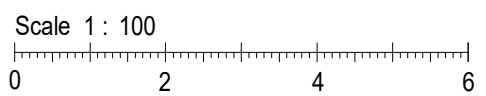
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<p>Drawing Status:</p> <p><b>DEVELOPMENT APPLICATION</b></p>	<p>Project / Job No:</p> <p><b>18014</b></p>	<p>Drawing No:</p> <p><b>A111</b></p>	<p>Revision:</p> <p><b>03</b></p>																								





1 ROOF PLAN  
1 : 100



<div>FIGURED DIMENSIONS SHALL BE USED IN PREFERENCE TO THOSE SCALED OFF. DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.</div> <div>THIS DRAWING WAS PREPARED FROM SURVEY AND SURVEY INFORMATION AVAILABLE AT THE TIME OF DRAFTING AND MAY VARY FROM ACTUAL SITE MEASURED DIMENSIONS. VERIFY ALL DIMENSIONS &amp; LEVELS ON SITE PRIOR TO FABRICATION OF COMPONENTS OR COMMENCEMENT OF WORK ON SITE.</div>	<div>THIS DRAWING HAS BEEN PREPARED FROM INFORMATION MADE AVAILABLE FROM SURVEY OWNERS. DETAIL SURVEY 8-58 ANDERSON STREET, CHATSWOOD NSW 2067 JOB NO. 2023-17. PREPARED BY GWA &amp; WALTON CONSULTING SURVEYORS, DATED 03/10/2017 AND DETAIL SURVEY OF LOT 20 IN DP 1107551 NO. 58 ANDERSON STREET CHATSWOOD NSW 2067 JOB NO. 220511 - DET REV'S, PREPARED BY EAST WEST SURVEYORS PTY LTD, DATED 04/03/2023.</div> <div>REFER TO SURVEY DRAWINGS FOR MORE INFORMATION.</div>	<div>Orientation:</div> <div></div>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
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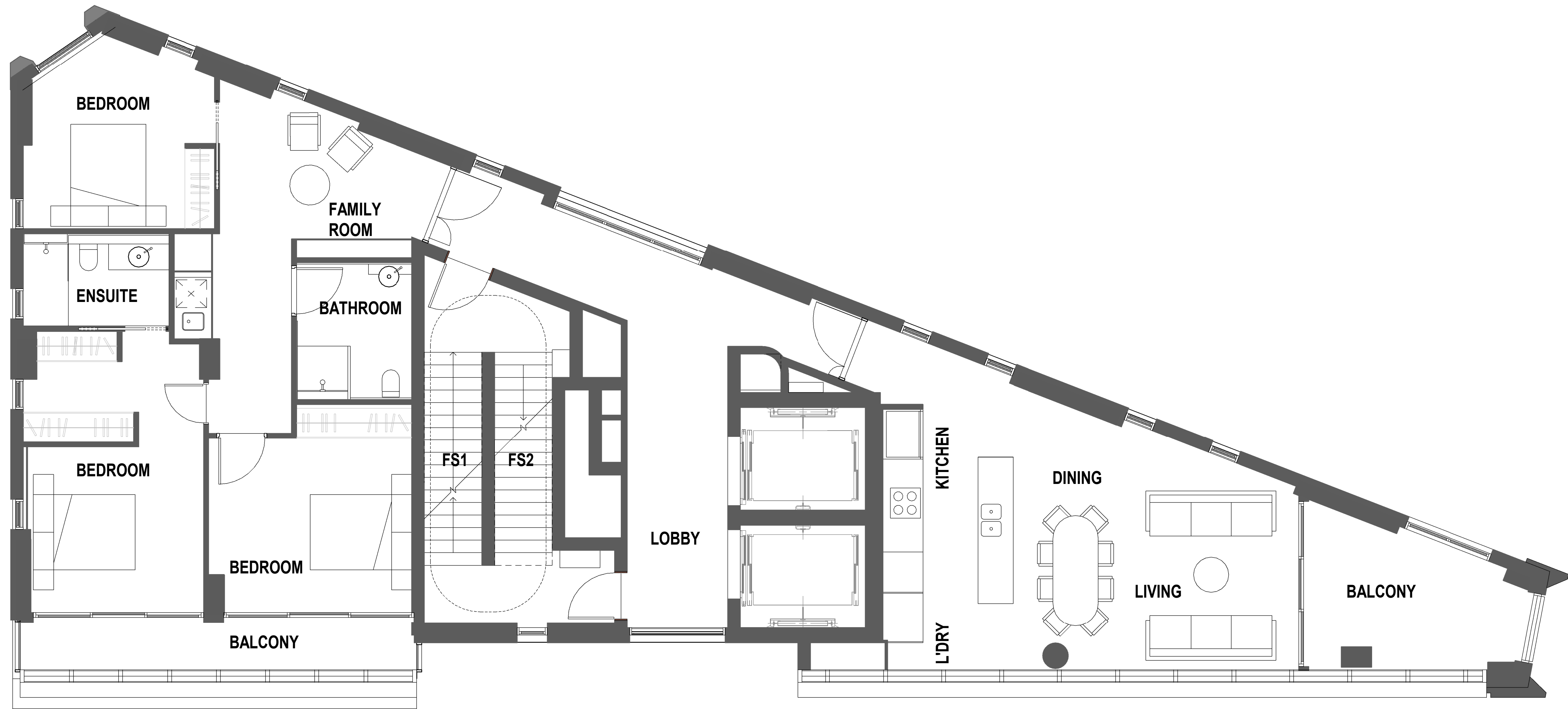




Scale 1 : 50

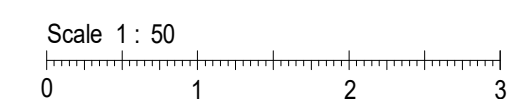
[illegible]





1 PRE -ADAPTABLE UNIT 801 (901,1001,1101,1201)  
1 : 50

NOTES: - ALL CIRCULATION SPACES AT DOOR, IN FRONT OR BESIDE APPLIANCES AND AROUND WC PANS, WASHBASINS AND SHOWER TO BE IN ACCORDANCE WITH AS 1428.1. - ALL INTERNAL FLOOR AND EXTERNAL PAVED SURFACES TO BE SLIP - RESISTANT TO COMPLY WITH AS/NZS 3661.1.



<div>FIGURED DIMENSIONS SHALL BE USED IN PREFERENCE TO THOSE SCALED OFF. DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.</div> <div>THIS DRAWING WAS PREPARED FROM DRAWING AND SURVEY INFORMATION AVAILABLE AT THE TIME OF DRAFTING AND MAY VARY FROM ACTUAL SITE MEASURED DIMENSIONS. VERIFY ALL DIMENSIONS &amp; LEVELS ON SITE PRIOR TO FABRICATION OF COMPONENTS OR COMMENCEMENT OF WORK ON SITE.</div>	<div>THIS DRAWING HAS BEEN PREPARED FROM INFORMATION MADE AVAILABLE FROM SURVEY DINGS. DETAIL SURVEY IS 58 ANDERSON STREET, CHATSWOOD NSW 2067 JOB NO. 2023-17. PREPARED BY GWA &amp; WALTON CONSULTING SURVEYORS, DATED: 03/10/2017 AND DETAIL SURVEY OF LOT 20 IN DP 1107511 NO. 58 ANDERSON STREET CHATSWOOD NSW JOB NO. 220511 - DET REV'S, PREPARED BY EAST WEST SURVEYORS PTY LTD, DATED: 04/03/2023.</div> <div>REFER TO SURVEY DRAWINGS FOR MORE INFORMATION.</div>	<div>Orientation</div> <div></div>			<div>ARCHITECT:</div> <div></div> <div>DREW DICKSON ARCHITECTS <small>Nominated Architect, Alexander de Buren DREW DICKSON ARCHITECTS PTY LIMITED SUITE 2 GROUND FLOOR, 65 ALEXANDER STREET CROWS NEST NSW 2085 AUSTRALIA Tel: +61 2 99513433 Email: info@dida-architects.com Web: www.dida-architects.com</small></div>	<div>CLIENT:</div> <div>REZA VAKILI (THE PROPERTY OWNER)</div>	<div>PROJECT:</div> <div>PROPOSED SHOP TOP HOUSING DEVELOPMENT</div> <div>ADDRESS: 58 ANDERSON STREET CHATSWOOD, NSW, 2067</div>	<div>DRAWING</div> <div>ADAPTABLE UNIT PLANS- SHEET 2</div>	Drawing Scale @ A1: As indicated		Date: OCT 2022	Drawn by: KL		
			DEVELOPMENT APPLICATION											
			Project / Job No:								Drawing No:		Revision:	
			18014								A114		03	








THIS DRAWING HAS BEEN PREPARED FROM INFORMATION MADE AVAILABLE FROM SURVEY DRINGS DETAIL SURVEY # 88  
ANDERSON STREET CHATSWOOD NSW 2067 JOB NO. 3823.17  
PREPARED BY DAW & WILTON CONSULTING ENGINEERS DATED  
03/02/2017 AND DETAIL SURVEY OF LOT 201 DP 110551 N.S. 56  
ANDERSON STREET CHATSWOOD NSW 2067 REV. NO. 2250.11 - DE  
REV. PREPARED BY EAST WEST SURVEYORS PTY. LTD. DATED:  
04/02/2023

Orientation:

03	07/08/2024	ISSUED FOR COUNCIL RFI	EO
02	27/03/2024	ISSUED FOR COUNCIL RFI	EO
01	23/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	VE
ISSUE DATE		DESCRIPTION	ISSUED BY

**ARCHITECT:**



**DREW DICKSON ARCHITECTS**

Northwest Architect Alliance is a Ben  
Archer Reg. No. 3203  
DREW DICKSON ARCHITECTS PLY LIMITED  
AR 17 18 662 151  
S/12, 2/60-62, 1/60R, BALMAIN STREET, CHONS WEST NSW 2203, AUSTRALIA  
Tel: +61 2 993 0363 Fax: +61 2 993 0363  
Email: [info@drew-dickson.com](mailto:info@drew-dickson.com) Web: [www.drew-dickson.com](http://www.drew-dickson.com)

REZA VAKILI  
(THE PROPERTY OWNER)

## PROPOSED SHOP TOP HOUSING DEVELOPMENT

**AND**

**SON STREET (EAST) ELEVATION**

Drawing Scale @ A1:	Date:	Drawn by:
1 : 100	OCT 2022	KL

Drawing Status:

## DEVELOPMENT APPLICATION

Project / Job No:	Drawing No:	Revision:
18014	A201	03

## LEGEND

**TOWER:**

- 101 **EXTERNAL WALL**  
WALL CLADDING - TOWER FACADE  
CURTAIN WALL PANNELLING SYSTEM  
TERRACEDE XP LINEAR  
COLOUR: PILBARA

102 **EXTERNAL WALL**  
WALL CLADDING -  
CENTRAL CORE AREA  
CURTAIN WALL PANNELLING SYSTEM  
TERRACEDE XP LINEAR  
COLOUR: BUNBURY

103 **ALL WINDOWS FRAMES AND SUNSHADINGS**  
TERRACEDE XP SMOOTH  
COLOUR: KIMBERLEY

## PODIUM

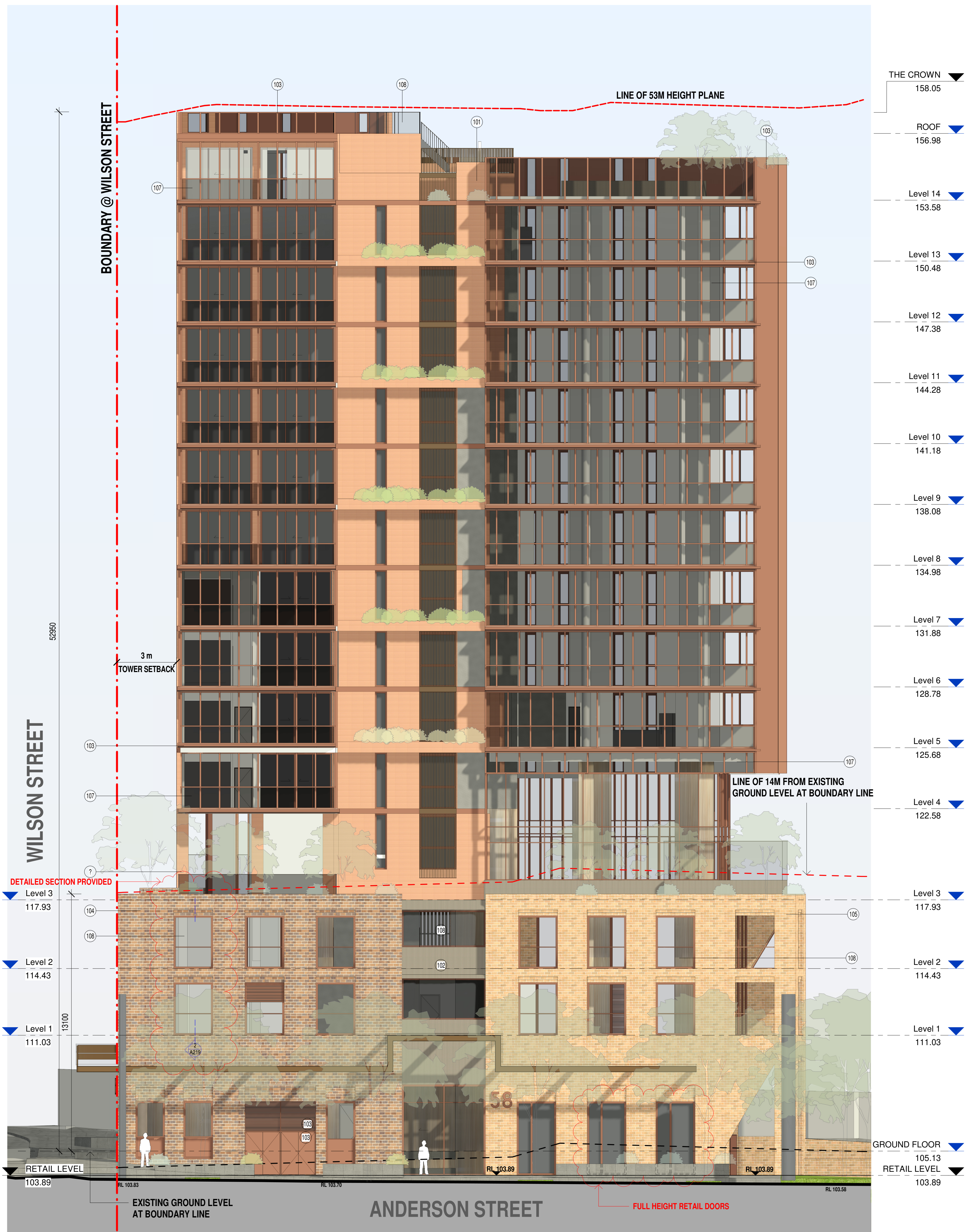
- 104**      **BRICK TYPE 01**  
TOWER 1 PODIUM  
(CORNER WILSON AND ANDERSON STREET)  
COLOUR: DORCHESTER

**105**      **BRICK TYPE 02**  
TOWER 2 PODIUM  
(ANDERSON NORTH)  
COLOUR: WESTMINSTER

**106**      **AWNING**  
STEEL FRAME  
COLOUR: DARK BROWN

**107**      **GLAZING TYPE**  
LIGHT GREY TINTED

**108**      **GLAZING TYPE**  
RETAIL CLEAR GLAZING



## ANDERSON STREET (EAST) ELEVATION

1 : 100





PROPOSED DIMENSIONS SHALL BE USED IN ALL DIMENSIONS TO LARGER SCALE DRAWINGS.  
THIS DRAWING HAS BEEN PREPARED BY AN ARCHITECTURAL FIRM.  
THESE DIMENSIONS SHALL BE USED IN ALL DIMENSIONS TO LARGER SCALE DRAWINGS.  
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THIS DRAWING HAS BEEN PREPARED BY AN ARCHITECTURAL FIRM.  
THESE DIMENSIONS SHALL BE USED IN ALL DIMENSIONS TO LARGER SCALE DRAWINGS.

ISSUE	DATE	DESCRIPTION	ISSUED BY
01	22/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	VE
02	27/03/2024	ISSUED FOR COUNCIL RFI	EO
03	07/08/2024	ISSUED FOR COUNCIL RFI	EO

ARCHITECT  
DREW DICKSON ARCHITECTS  
14-16/2 RIVERSIDE DRIVE  
SYDNEY NSW 2000  
PH: 02 9251 5153  
WWW.DREW-DICKSON.COM.AU

CLIENT  
REZA VAKILI  
(THE PROPERTY OWNER)

PROJECT  
PROPOSED SHOP TOP HOUSING DEVELOPMENT  
ADDRESS  
58 ANDERSON STREET CHATSWOOD, NSW, 2067

DRAWING  
WILSON STREET (SOUTH) ELEVATION

Drawing Scale @ A1:  
1 : 100  
Date:  
OCT 2022  
Drawn By:  
KL  
Development Application  
Project Ref No:  
18014  
Drawing No:  
A202  
Revision:  
03

## LEGEND

### TOWER:

(101)

EXTERNAL WALL  
WALL CLADDING - TOWER FACADE  
CURTAIN WALL PANELLING SYSTEM  
TERRACADE XP LINEAR  
COLOUR: PILBARA

(102)

EXTERNAL WALL  
WALL CLADDING - CENTRAL CORE AREA  
CURTAIN WALL PANELLING SYSTEM  
TERRACADE XP LINEAR  
COLOUR: BUNBURY

(103)

ALL WINDOWS FRAMES AND SUNSHADINGS  
TERRACADE XP SMOOTH  
COLOUR: KIMBERLEY

### PODIUM:

(104)

BRICK TYPE 01  
TOWER 1 PODIUM  
(CORNER WILSON AND ANDERSON STREET)  
COLOUR: DORCHESTER

(105)

BRICK TYPE 02  
TOWER 2 PODIUM  
(ANDERSON NORTH)  
COLOUR: WESTMINSTER

(106)

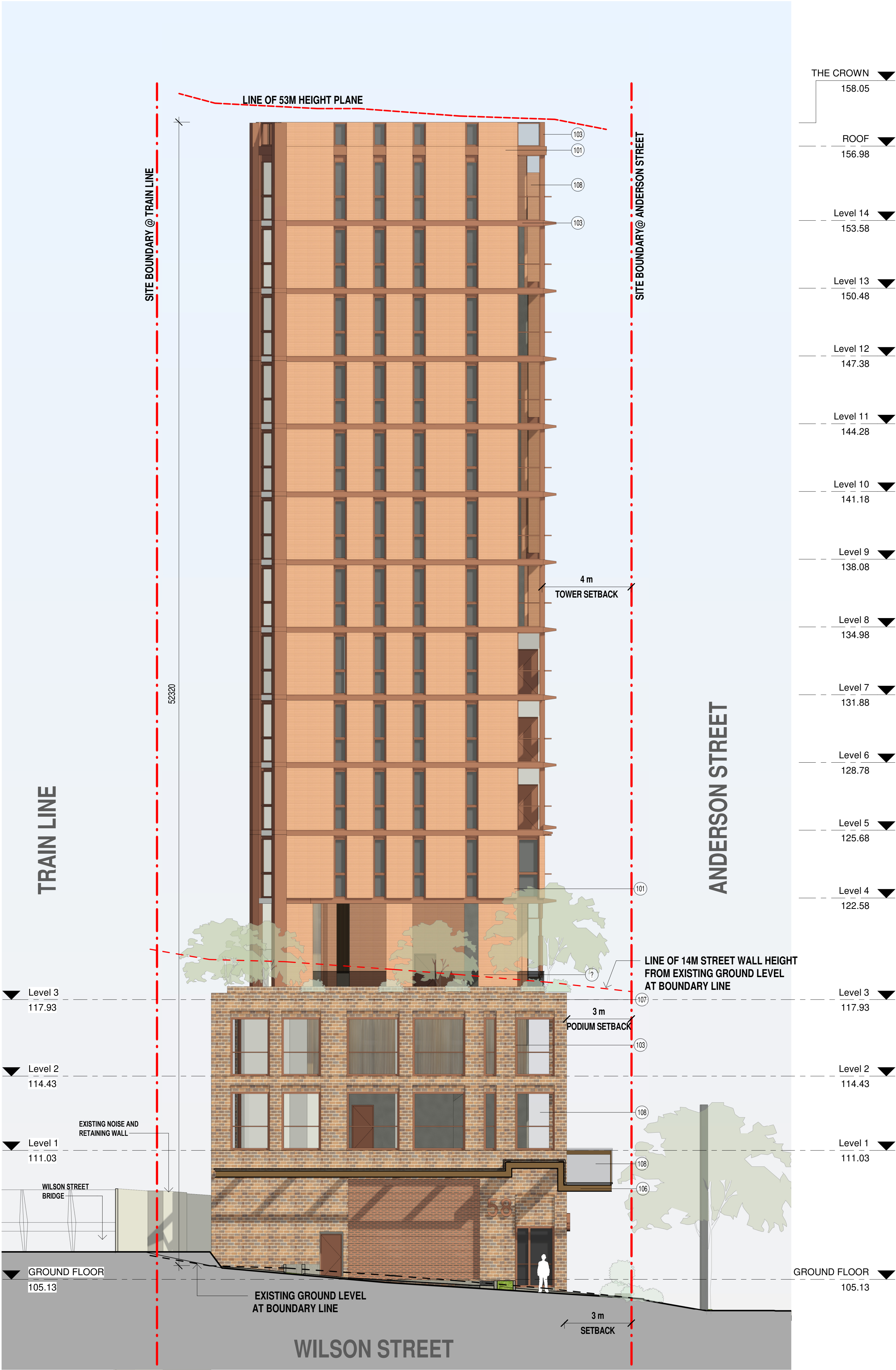
AWNING  
STEEL FRAME  
COLOUR: DARK BROWN

(107)

GLAZING TYPE  
LIGHT GREY TINTED

(108)

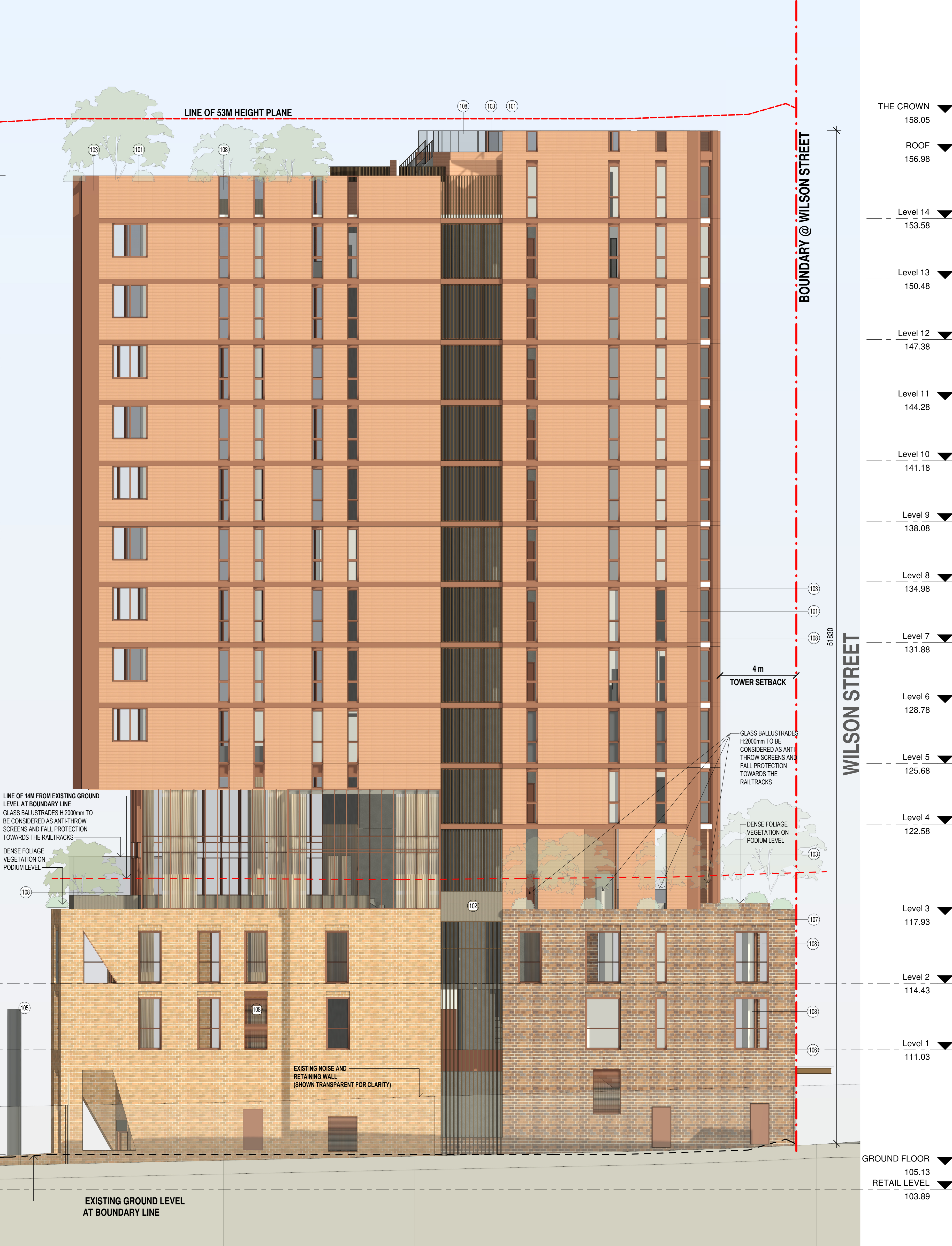
GLAZING TYPE  
RETAIL CLEAR GLAZING



1 SOUTH ELEVATION (WILSON STREET)  
1 : 100  
Scale 1 : 100  
0 2 4 6




NOTE: ALL WINDOWS ON RAILWAY (WEST) ELEVATION HAVE BEEN CONSIDERED TO BE FIXED  
WINDOWS OR OPERABLE AT A MIN. OPENING



**1 WEST ELEVATION (ALONG RAILWAY)**

1 : 100

Scale 1 : 100





PROPOSED SHOP TOP HOUSING DEVELOPMENT

59 ANDERSON STREET CHATSWOOD, NSW, 2067

CLIENT

REZA VAKILI  
(THE PROPERTY OWNER)

ARCHITECT

DREW DICKSON ARCHITECTS

14-15/2 BENTLEY STREET, CHATSWOOD, NSW 1585  
PH: 02 9551 5153 Email: info@ddarchitects.com Web: www.ddarchitects.com

PROJECT

59 ANDERSON STREET CHATSWOOD, NSW, 2067

DRAWING

NORTH ELEVATION

Project Ref No:

18014

Drawing No:

A204

Revision:

03

Drawn By:

KL

Date:

OCT 2022

Drawing Status:

DEVELOPMENT APPLICATION

Project Scale @ A1:

1 : 100

ISSUE

DATE

DESCRIPTION

ISSUED BY

01

23/02/2023

ISSUED FOR DEVELOPMENT APPLICATION

VE

02

27/03/2024

ISSUED FOR COUNCIL RFI

EO

03

07/06/2024

ISSUED FOR COUNCIL RFI

EO

Comments:

THIS DRAWING HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NSW BUILDING REGULATIONS 2018 AND THE NSW BUILDING ACT 2018. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO ENSURE THAT THE DRAWING IS ACCURATE AND COMPLETE. THE CLIENT IS ADVISED THAT THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER PARTY. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER PARTY. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER PARTY.

PROPOSED SHOP TOP HOUSING DEVELOPMENT

59 ANDERSON STREET CHATSWOOD, NSW, 2067

CLIENT

REZA VAKILI  
(THE PROPERTY OWNER)

ARCHITECT

DREW DICKSON ARCHITECTS

14-15/2 BENTLEY STREET, CHATSWOOD, NSW 1585  
PH: 02 9551 5153 Email: info@ddarchitects.com Web: www.ddarchitects.com

PROJECT

59 ANDERSON STREET CHATSWOOD, NSW, 2067

DRAWING

NORTH ELEVATION

Project Ref No:

18014

Drawing No:

A204

Revision:

03

Drawn By:

KL

Date:

OCT 2022

Drawing Status:

DEVELOPMENT APPLICATION

Project Scale @ A1:

1 : 100

1 NORTH ELEVATION

1 : 100

Scale 1 : 100

0 2 4 6



TOWER



101 CURTAIN WALL PANELLING SYSTEM  
TERRACADE XP LINEAR  
COLOUR: PILBARA

103 WINDOW FRAMES, MULLIONS,  
SUN-SHADING

PODIUM



104 BRICK TYPE 01  
TOWER 1 PODIUM  
(CORNER WILSON AND ANDERSON STREET)  
BRAND: AUSTRALBRICKS  
COLOUR: PARK LANE DORCHESTER

105 BRICK TYPE 02  
TOWER 2 PODIUM  
(ANDERSON NORTH)  
BRAND: AUSTRALBRICKS  
COLOUR: PARK LANE WESTMINSTER

102 CURTAIN WALL PANELLING SYSTEM  
TERRACADE XP LINEAR  
COLOUR: BUNBURY



106 AWNING  
STEEL FRAME  
COLOUR: DARK BROWN

107 GLAZING TYPE 1  
LIGHT GREY TINTED

108 GLAZING TYPE  
RETAIL CLEAR GLAZING



THIS DRAWING IS TO BE USED IN CONNECTION WITH THE PROPOSED SHOP TOP HOUSING DEVELOPMENT AT 59 ANDERSON STREET CHATSWOOD, NSW, 2067. THE DRAWING IS TO BE USED IN CONNECTION WITH THE PROPOSED SHOP TOP HOUSING DEVELOPMENT AT 59 ANDERSON STREET CHATSWOOD, NSW, 2067. THE DRAWING IS TO BE USED IN CONNECTION WITH THE PROPOSED SHOP TOP HOUSING DEVELOPMENT AT 59 ANDERSON STREET CHATSWOOD, NSW, 2067.

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04

24/01/2025

ADDITIONAL INFORMATION SHOWN

AD

03

07/09/2024

ISSUED FOR COUNCIL RFI

EO

02

27/09/2024

ISSUED FOR COUNCIL RFI

EO

01

23/02/2023

ISSUED FOR DEVELOPMENT APPLICATION

VE

ISSUE

DATE

DESCRIPTION

ISSUED BY

ARCHITECT

DREW DICKSON ARCHITECTS

59 ANDERSON STREET CHATSWOOD, NSW, 2067

PH: 02 9439 1234

EMAIL: info@drewdickson.com

WWW: www.drewdickson.com

59 ANDERSON STREET CHATSWOOD, NSW, 2067

PH: 02 9439 1234

EMAIL: info@drewdickson.com

WWW: www.drewdickson.com

CLIENT

REZA VAKILI  
(THE PROPERTY OWNER)

PROJECT

PROPOSED SHOP TOP HOUSING DEVELOPMENT

ADDRESS

59 ANDERSON STREET CHATSWOOD, NSW, 2067

DRAWING

SECTION 1

Drawing Scale @ A1:

Oct 2022

Drawn by:

KL

Development Application

Project / Job No:

18014

Drawing No:

A211

Page:

04

Architectural section drawing of a proposed shop top housing development at 59 Anderson Street, Chatswood, NSW, 2067. The drawing shows a cross-section of the building, including the ground floor, retail level, and basements. Key features include a car park entry and loading area, a transfer cabin, a car lift shaft, a car track, a retail area, a commercial area, a communal open space, a communal area spa pool, and a penthouse terrace and spa pool. The drawing also shows the existing ground level at the boundary line and the 53m height limit. The drawing is labeled 'SECTION 01' and '1 : 100'.

1 SECTION 01  
1 : 100



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PROJECT INFORMATION

PROJECT NAME: PROPOSED SHOP TOP HOUSING DEVELOPMENT

CLIENT: REZA VAKILI (THE PROPERTY OWNER)

ADDRESS: 58 ANDERSON STREET CHATSWOOD, NSW, 2067

DATE: 23/02/2023

ISSUED BY: VE

DESCRIPTION: ISSUED FOR DEVELOPMENT APPLICATION

ARCHITECT

DEW DICKSON ARCHITECTS

10/100 DICKSON STREET CHATSWOOD, NSW, 2067

PH: 02 9339 1523

EMAIL: info@dewdickson.com

WWW: www.dewdickson.com

CLIENT

REZA VAKILI (THE PROPERTY OWNER)

PROJECT

PROPOSED SHOP TOP HOUSING DEVELOPMENT

SECTION 2

SECTION 2

DRAWING SCALE @ A:1

DATE: OCT 2022

DRAWN BY: KL

DRAWING STATUS: DEVELOPMENT APPLICATION

DRAWING NO: A212

PROJECT / JOB NO: 18014

REVISION: 04

53 HEIGHT LIMIT

THE CROWN 158.05

ROOF 156.98

Level 14 153.58

Level 13 150.48

Level 12 147.38

Level 11 144.28

Level 10 141.18

Level 9 138.08

Level 8 134.98

Level 7 131.88

Level 6 128.78

Level 5 125.68

Level 4 122.58

Level 3 117.93

Level 2 114.43

Level 1 111.03

GROUND FLOOR 105.13

RETAIL LEVEL 103.89

BASEMENT 1 101.00

BASEMENT 2 98.00

BASEMENT 3 89.55

ANDERSON STREET

SITE BOUNDARY @ ANDERSON STREET

SITE BOUNDARY @ TRAIN LINE

SITE BOUNDARY BEYOND

1301 UPPER LEVEL

1301 3 BED

1201 3 BED

1101 3 BED

1001 3 BED

901 3 BED

801 3 BED

701 2 BED

601 2 BED

501 2 BED

401 2 BED

SERVICES

COMMUNAL OPEN SPACE

COMMERICAL

CAR PARK ENTRY & LOADING AREA

SERVICE LEVEL

PLANT

BIKE LOCKERS

CAR STACKER

4 m TOWER SETBACK

3 m PODIUM SETBACK

EXISTING GROUND LEVEL AT BOUNDARY LINE

RAIL LINE

SECTION 02

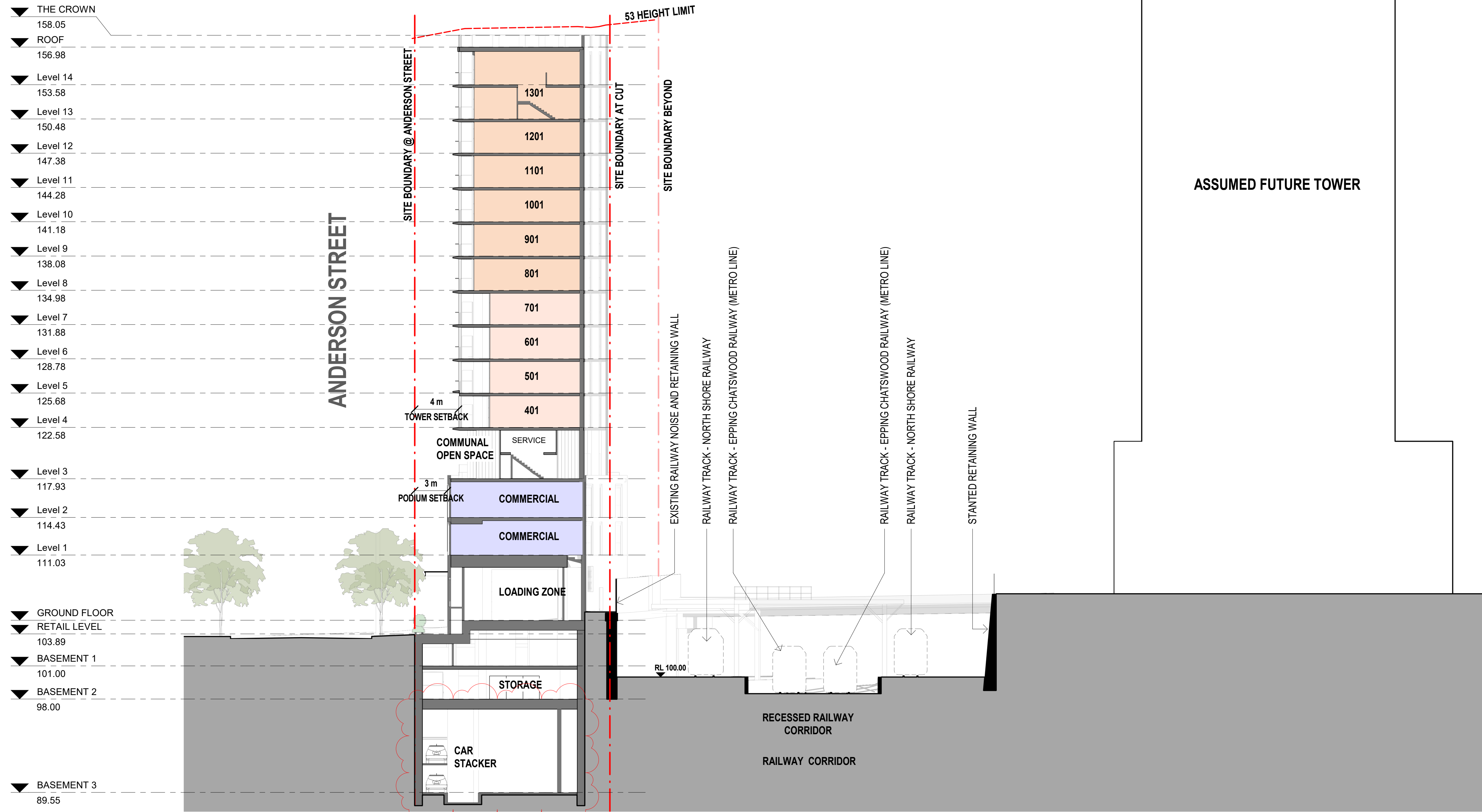
1 : 100

1 SECTION 02  
1 : 100

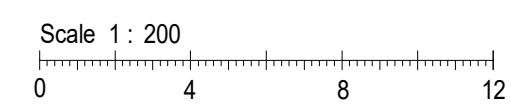








1 SITE SECTION  
1 : 200





<div>FIGURED DIMENSIONS SHALL BE USED IN PREFERENCE TO THOSE SCALED OFF. DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.</div> <div>THIS DRAWING WAS PREPARED FROM DRAWING AND SURVEY INFORMATION AVAILABLE AT THE TIME OF DRAFTING AND MAY VARY FROM ACTUAL SITE MEASURED DIMENSIONS. VERIFY ALL DIMENSIONS &amp; LEVELS ON SITE PRIOR TO FABRICATION OF COMPONENTS OR COMMENCEMENT OF WORK ON SITE.</div> <div>REFER TO SURVEY DRAWINGS FOR MORE INFORMATION.</div>	<div>THIS DRAWING HAS BEEN PREPARED FROM INFORMATION MADE AVAILABLE FROM SURVEY OWNERS. DETAIL SURVEY IS: ANDERSON STREET, CHATSWOOD NSW 2067. JOB NO. 2023-17. PREPARED BY: GWA &amp; WATSON CONSULTING SURVEYORS. DATED: 03/10/2017 AND DETAIL SURVEY OF LOT 20 IN DP 1107551 NO. 58 ANDERSON STREET CHATSWOOD NSW 2067. REV'D NO. 220511 - DET REV'D. PREPARED BY EAST WEST SURVEYORS PTY LTD. DATED: 04/02/2023.</div>	<div>Orientation:</div> <table><tr><td></td><td></td><td></td><td></td><td></td></tr><tr><td>04</td><td>24/01/2025</td><td>ADDITIONAL INFORMATION SHOWN</td><td>AD</td><td></td></tr><tr><td>03</td><td>07/08/2024</td><td>ISSUED FOR COUNCIL RFI</td><td>EO</td><td></td></tr><tr><td>02</td><td>27/03/2024</td><td>ISSUED FOR COUNCIL RFI</td><td>EO</td><td></td></tr><tr><td>01</td><td>23/02/2023</td><td>ISSUED FOR DEVELOPMENT APPLICATION</td><td>VE</td><td></td></tr><tr><td>ISSUE</td><td>DATE</td><td>DESCRIPTION</td><td>ISSUED BY</td><td></td></tr></table>						04	24/01/2025	ADDITIONAL INFORMATION SHOWN	AD		03	07/08/2024	ISSUED FOR COUNCIL RFI	EO		02	27/03/2024	ISSUED FOR COUNCIL RFI	EO		01	23/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	VE		ISSUE	DATE	DESCRIPTION	ISSUED BY		<div>ARCHITECT:</div> <div></div> <div><div>DREW DICKSON ARCHITECTS</div><div><div>Notional Architect: Alexander de Babel</div><div>Architect's Reg. No. 8330</div><div>DREW DICKSON ARCHITECTS PTY LIMITED</div><div>ABN 12 168 892 153</div><div>SUITE 2 GROUND FLOOR, 8-ALEXANDER STREET CROWS NEST NSW 2085 AUSTRALIA</div><div>Tel: +61 2 99513433 Email: info@dida-architects.com Web: www.dida-architects.com</div></div></div>	<div>CLIENT:</div> <div>REZA VAKILI</div> <div>(THE PROPERTY OWNER)</div>	<div>PROJECT:</div> <div>PROPOSED SHOP TOP HOUSING DEVELOPMENT</div> <div>ADDRESS:</div> <div>58 ANDERSON STREET CHATSWOOD, NSW, 2067</div>	<div>DRAWING</div> <div>SITE SECTION (SECTION 2)</div>	<div>Drawing Scale @ A1:</div> <div>1 : 200</div> <div>Date:</div> <div>OCT 2022</div> <div>Drawn by:</div> <div>VE</div>
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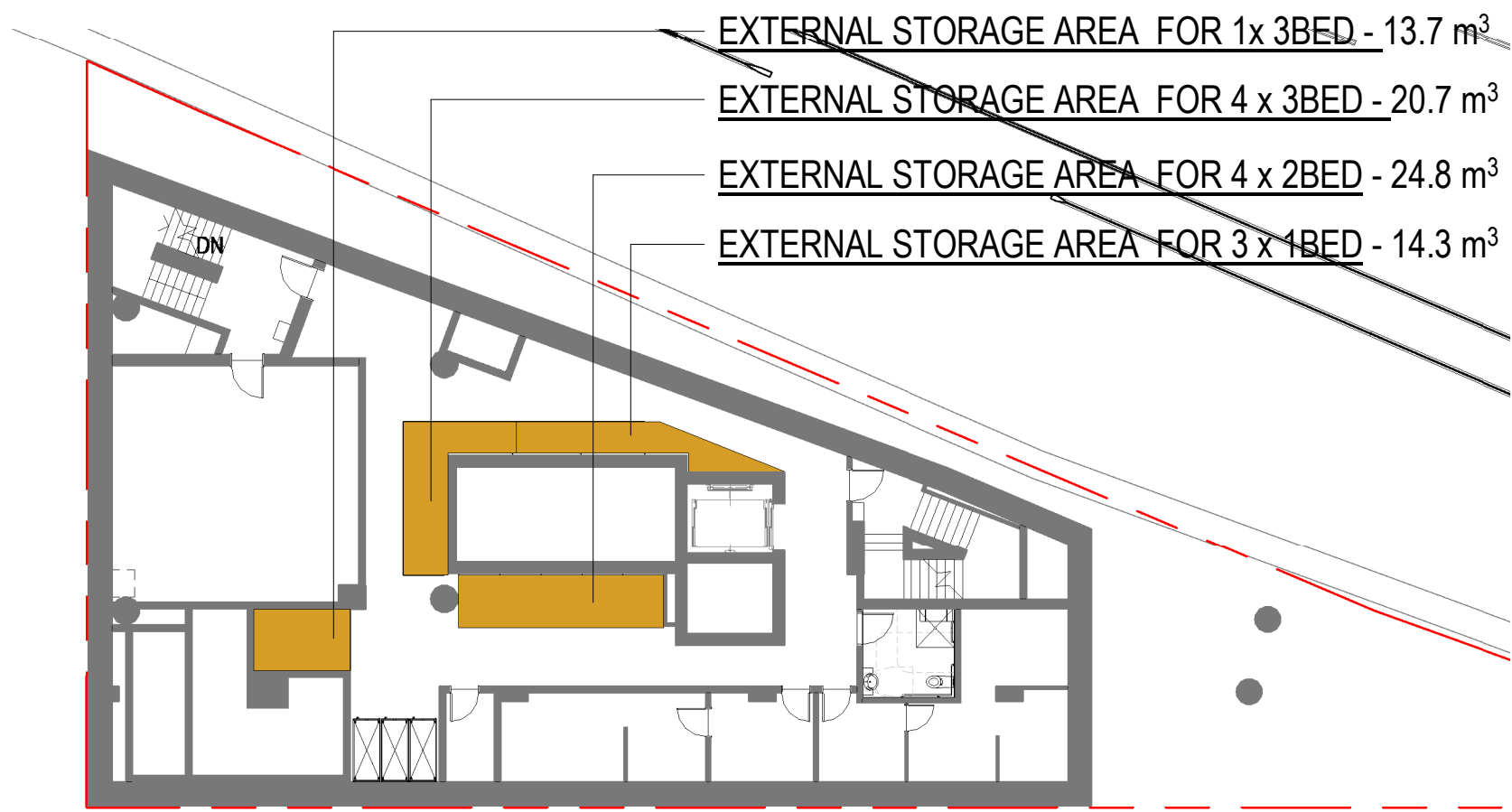
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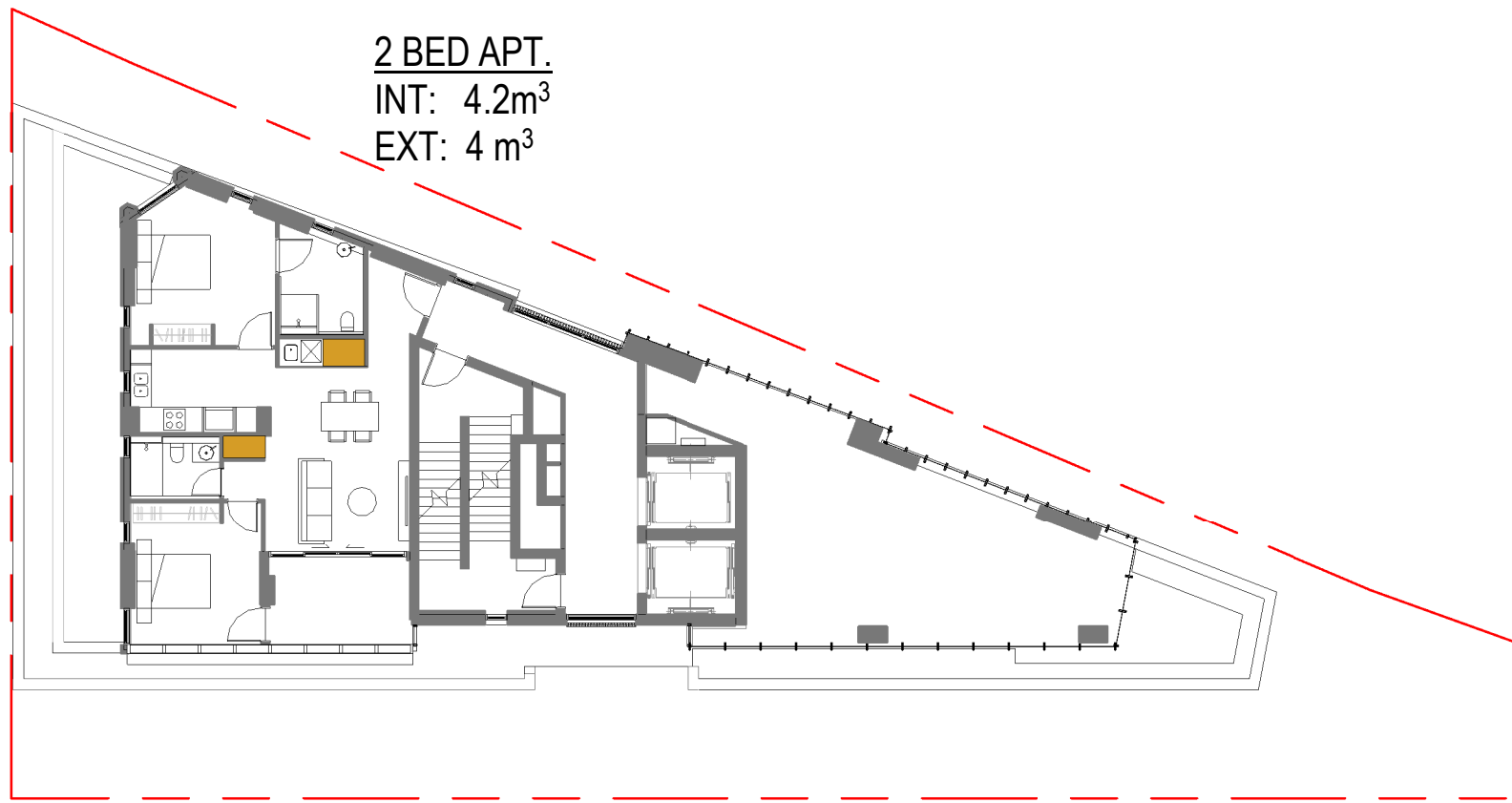


<p>FIGURED DIMENSIONS SHALL BE USED IN PREFERENCE TO THOSE SCALED OFF. DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.</p> <p>THIS DRAWING WAS PREPARED FROM DRAWING AND SURVEY INFORMATION AVAILABLE AT THE TIME OF DRAFTING AND MAY VARY FROM ACTUAL SITE MEASURED DIMENSIONS. VERIFY ALL DIMENSIONS &amp; LEVELS ON SITE PRIOR TO FABRICATION OF COMPONENTS OR COMMENCEMENT OF WORK ON SITE.</p>	<p>THIS DRAWING HAS BEEN PREPARED FROM INFORMATION MADE AVAILABLE FROM SURVEY OWNERS. DETAIL SURVEY 62/58 ANDERSON STREET, CHATSWOOD NSW 2067 JOB NO. 3823-17. PREPARED BY GAVIN A WALL TOON CONSULTING SURVEYORS, DATED 03/10/2017 AND DETAIL SURVEY OF LOT 20 IN DP 1107551 No. 58 ANDERSON STREET CHATSWOOD NSW 2067 RE: NO. 22/5511 - DET REVL. PREPARED BY EAST WEST SURVEYORS PTY LTD. DATED 04/02/2023.</p>	<p>Orientation:</p> 	<p>ARCHITECT:</p>  <p><b>DREW DICKSON ARCHITECTS</b></p> <p><small>Notified under the Australian e-Register DREW DICKSON ARCHITECTS PTY LIMITED ABN 12 588 892 153 SUITE 2/200A FLOOR, 81-A ALEXANDER STREET CROWS NEST NSW 1585 Tel: +61 2 95931453 Email: info@dta-australia.com Web: www.dta-australia.com</small></p>	<p>CLIENT:</p> <p><b>REZA VAKILI</b> (THE PROPERTY OWNER)</p>	<p>PROJECT:</p> <p><b>PROPOSED SHOP TOP HOUSING DEVELOPMENT</b></p> <p>ADDRESS: 58 ANDERSON STREET CHATSWOOD, NSW, 2067</p>	<p>DRAWING</p> <p><b>DETAIL SECTION SHEET 2</b></p>	Drawing Scale @ A1:	Date:	Drawn by:									
							As indicated	OCT 2022	EO									
							Drawing Status:			DEVELOPMENT APPLICATION								
Project / Job No:		Drawing No:	Revision:															
18014		A219	01															
<table><tr><td>01</td><td>07/08/2024</td><td>ISSUED FOR COUNCIL RFI</td><td>EO</td></tr><tr><td>ISSUE</td><td>DATE</td><td>DESCRIPTION</td><td>ISSUED BY</td></tr><tr><td></td><td></td><td></td><td></td></tr></table>		01	07/08/2024	ISSUED FOR COUNCIL RFI	EO	ISSUE	DATE	DESCRIPTION	ISSUED BY									
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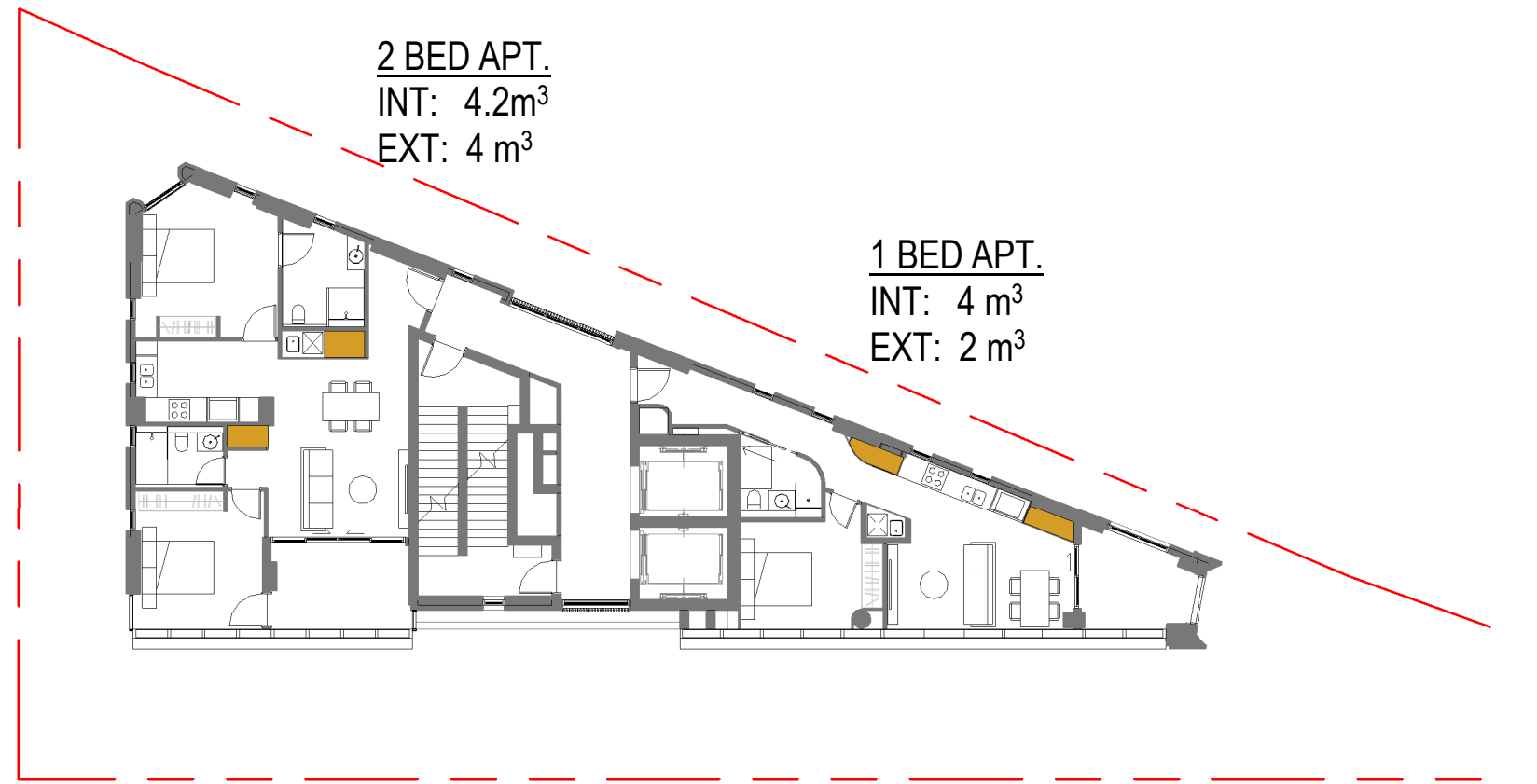




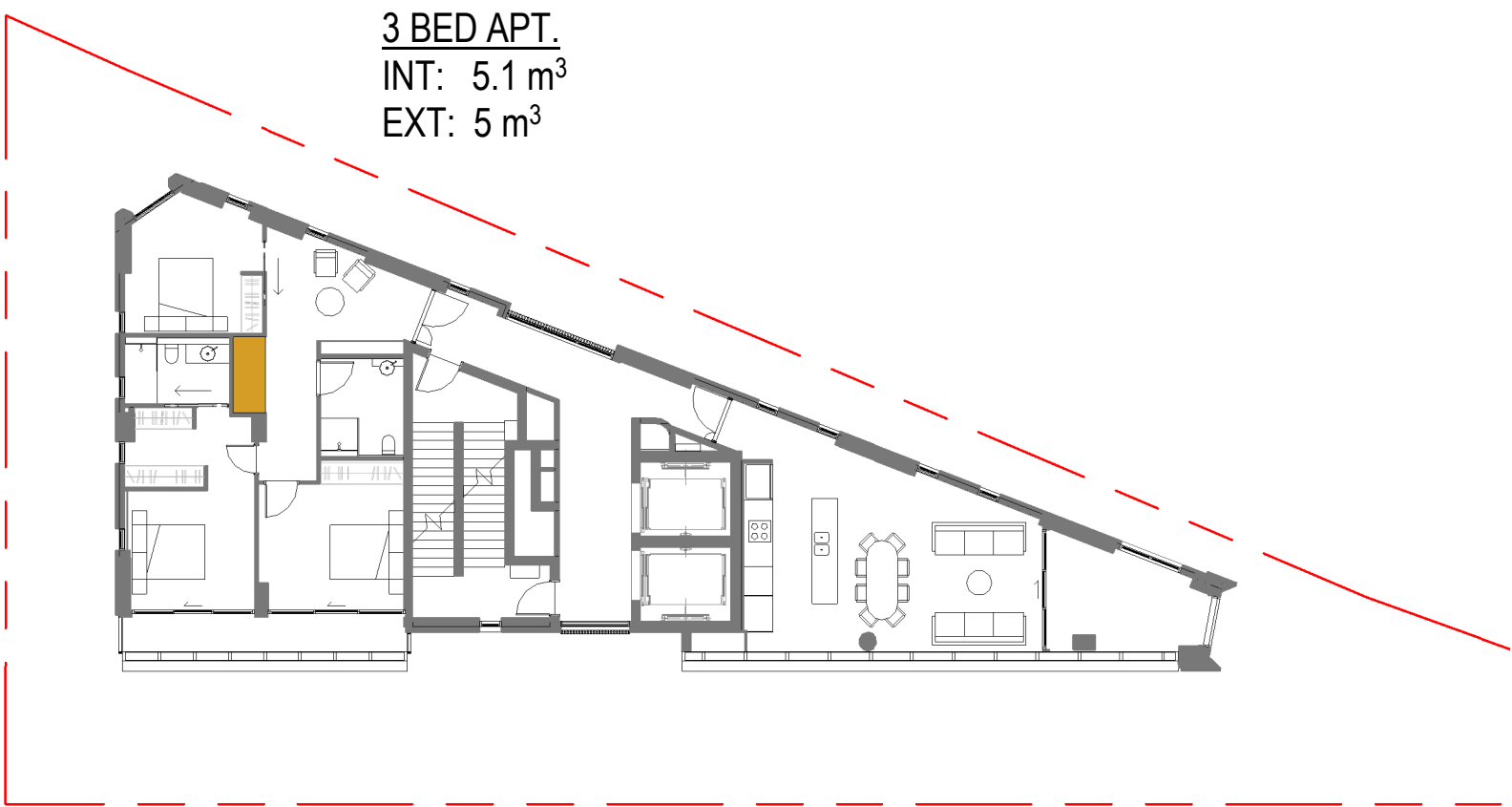
1 BASEMENT 2 Plan  
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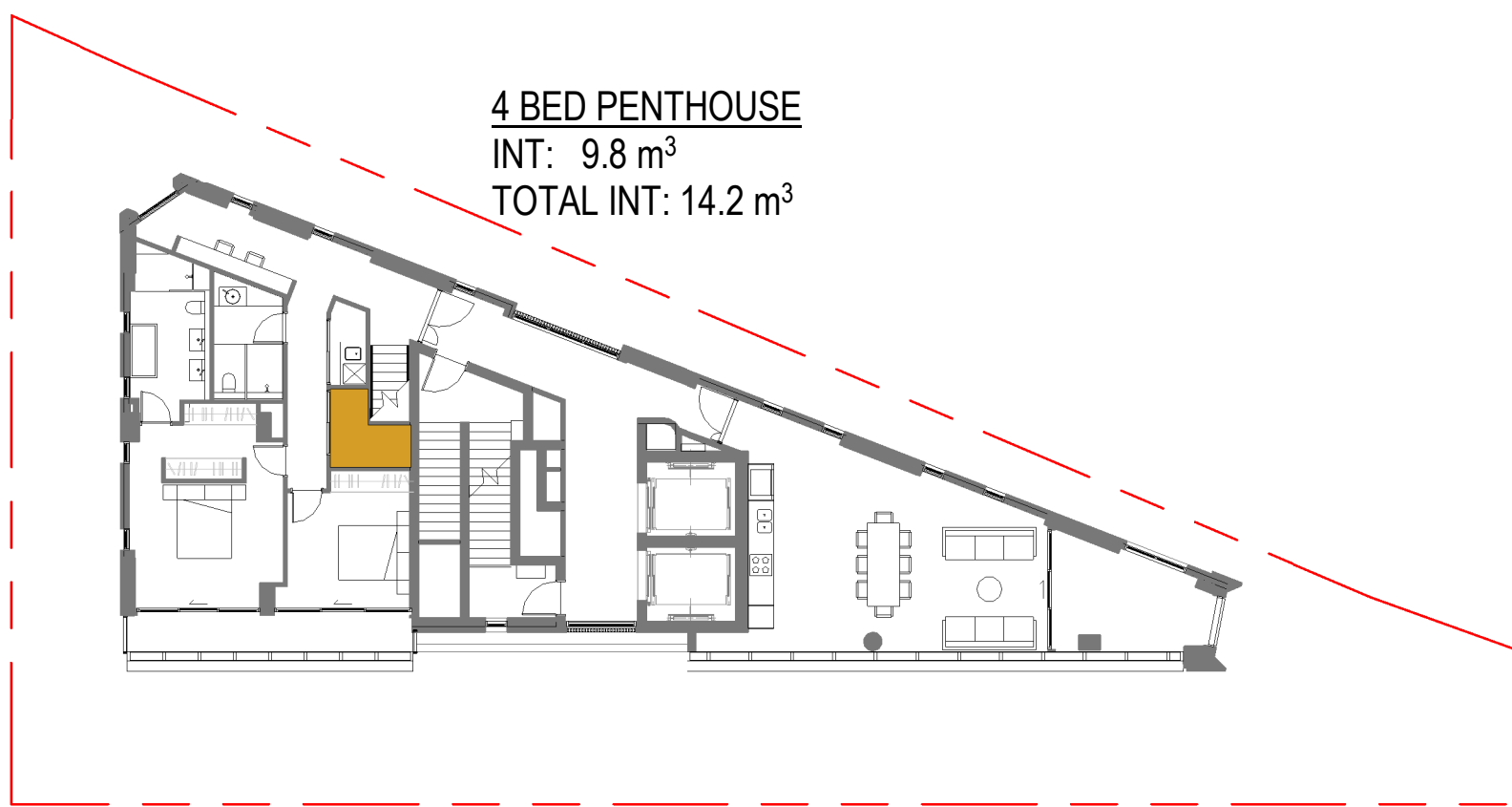
2 LEVEL 4 Plan  
1 : 200



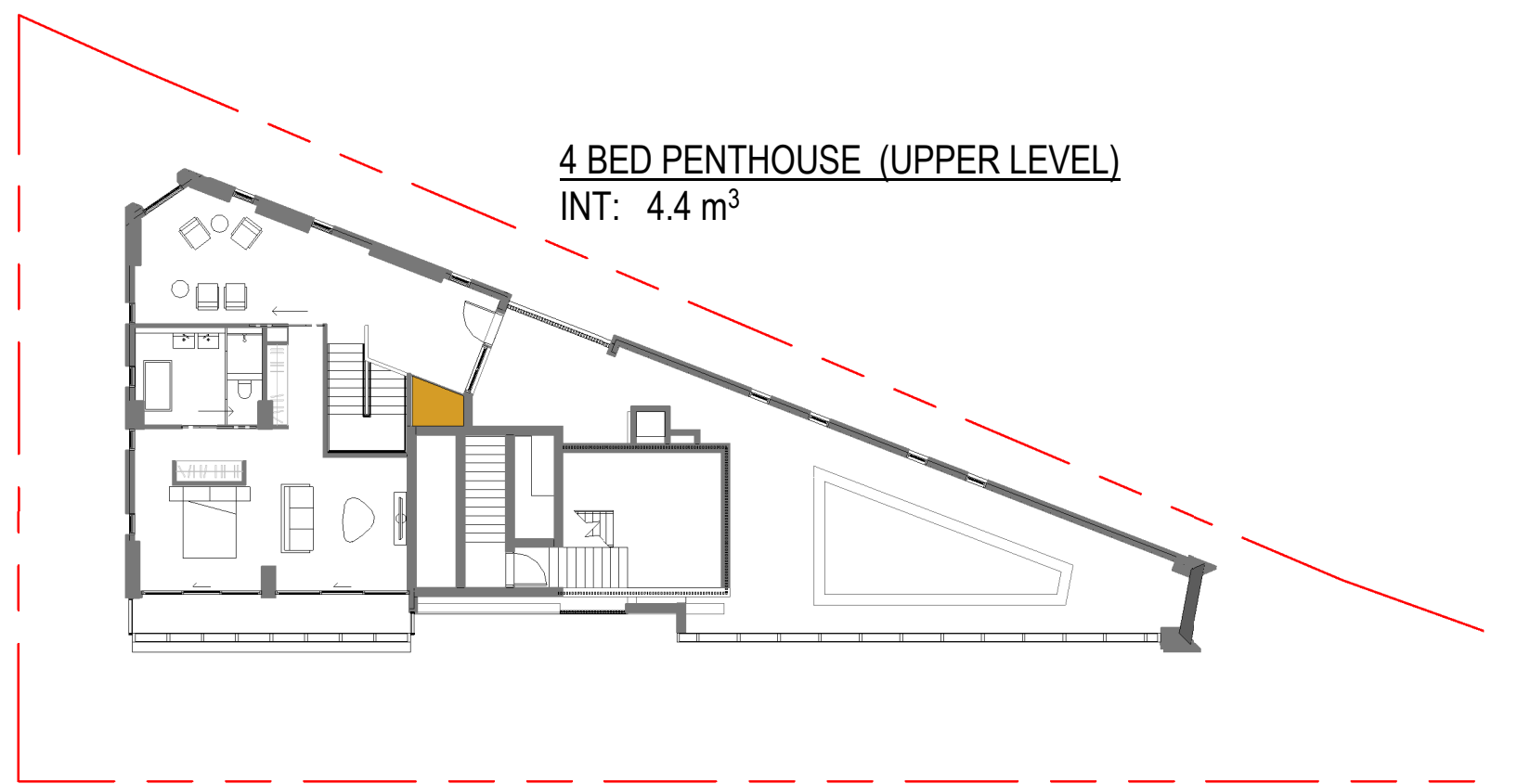
3 LEVEL 5-7 Plan  
1 : 200



4 LEVEL 8-12 Plan  
1 : 200



5 LEVEL 13 Plan  
1 : 200

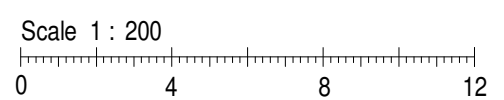


8 LEVEL 14 Plan  
1 : 200

LEGEND:

STORAGE

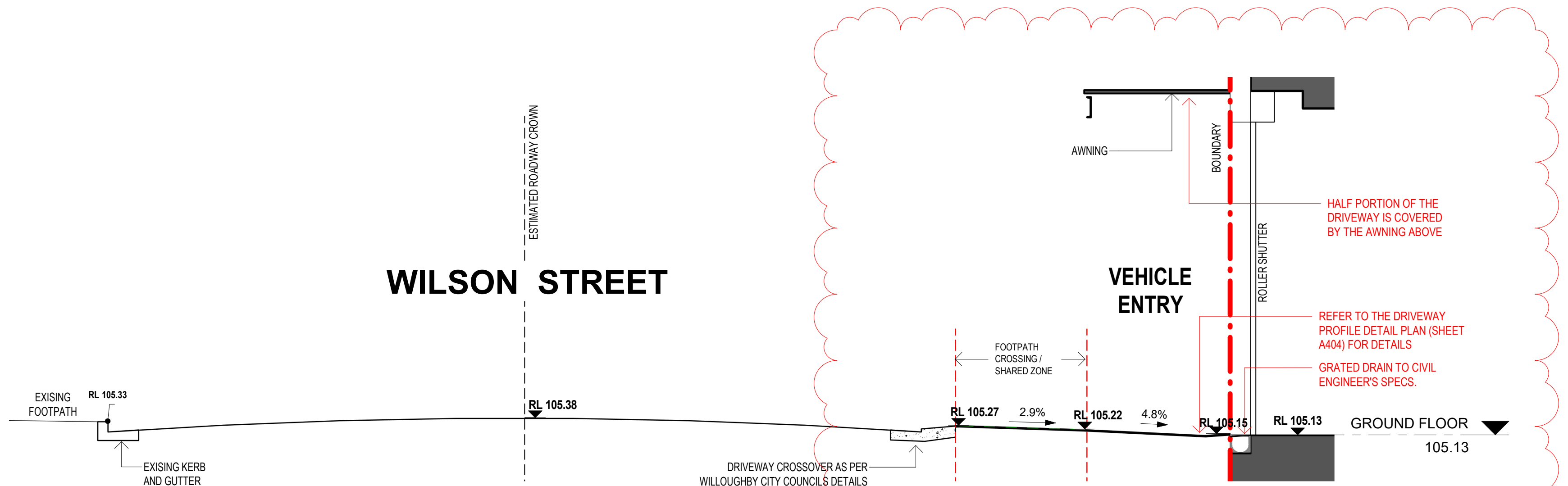
TOTAL 13 UNITS  
INTERNAL STORAGE PER UNIT 50%  
EXTERNAL STORAGE PER UNIT 50%



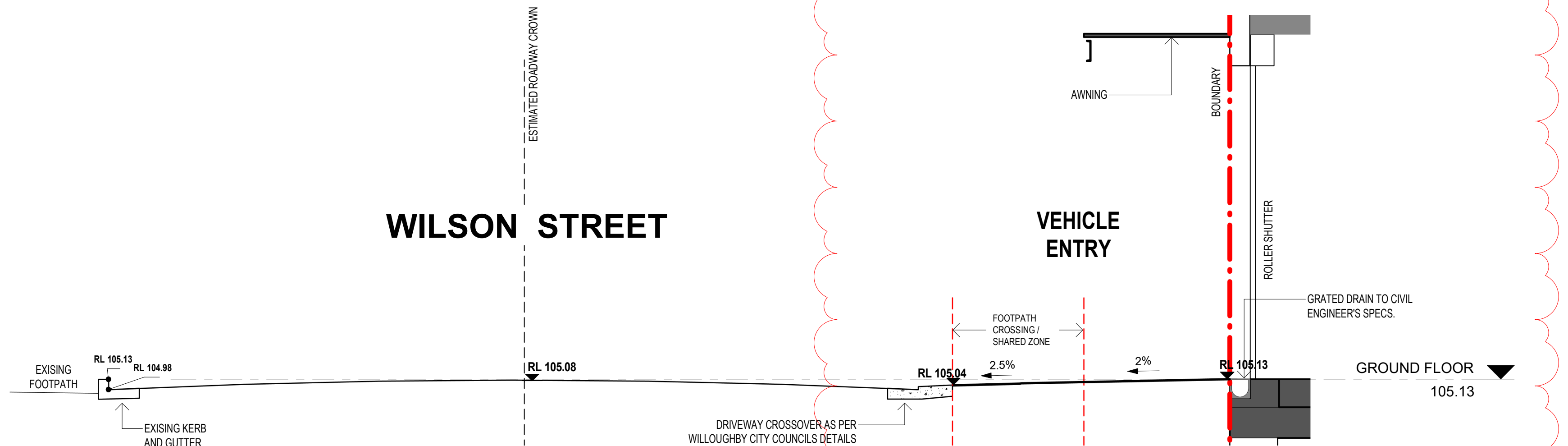




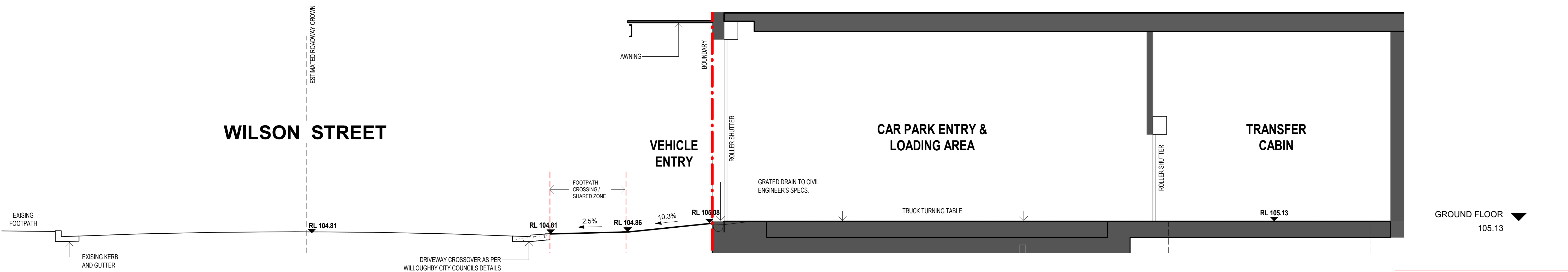




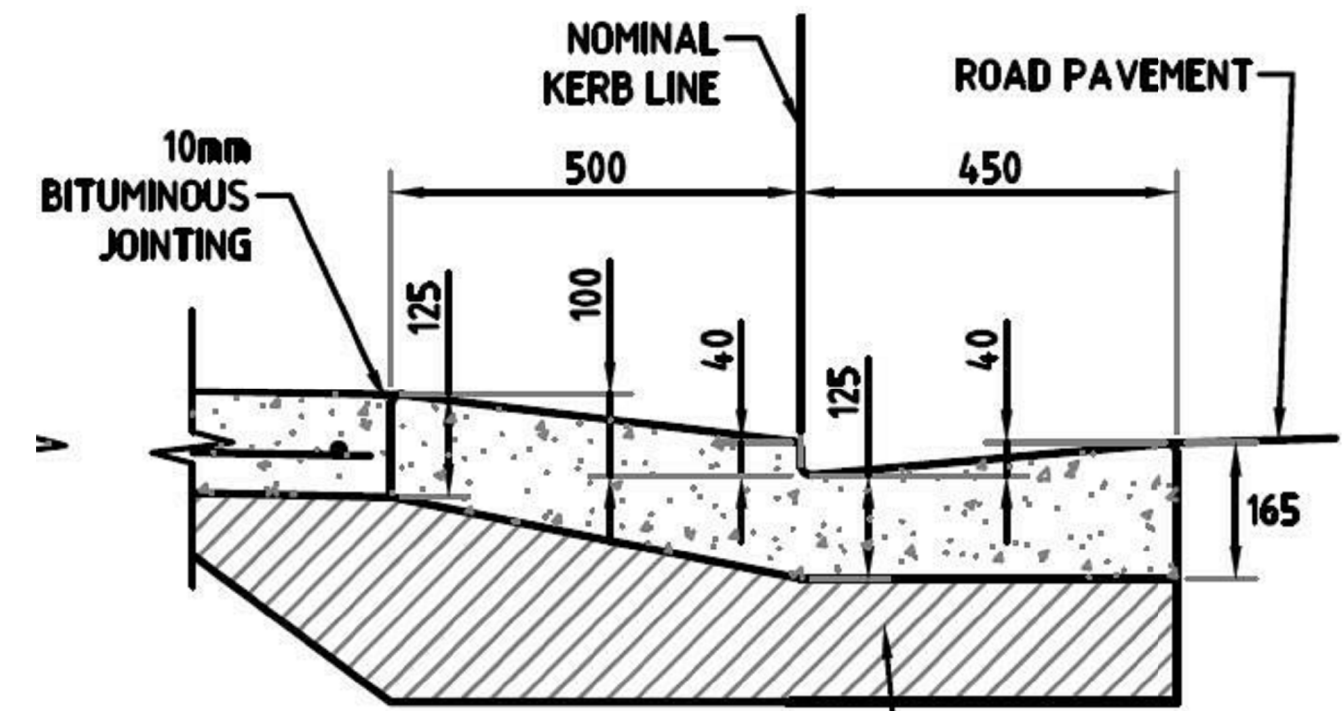
01 CROSS SECTION AT THE WESTERN END OF THE DRIVEWAY  
1 : 50



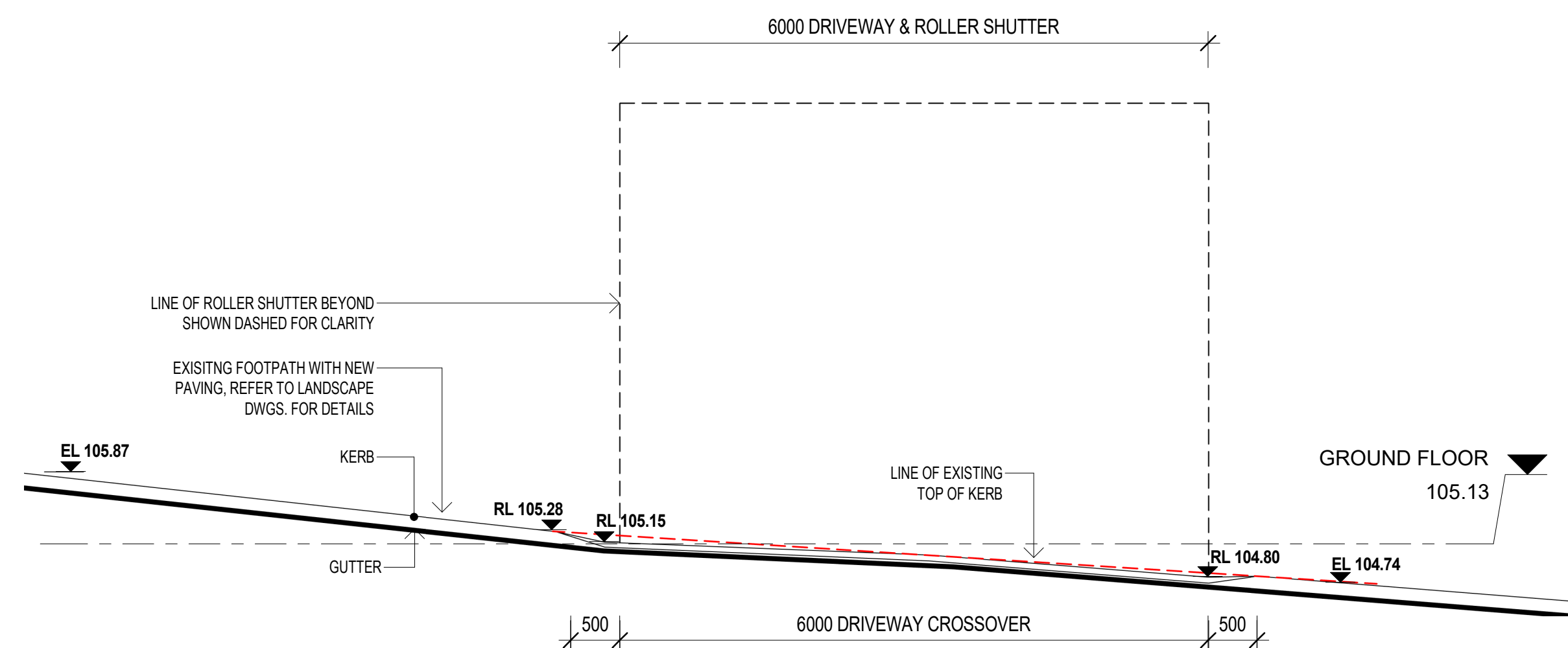
02 CROSS SECTION AT THE CENTRE OF THE DRIVEWAY  
1 : 50



03 CROSS SECTION AT THE EASTERN END OF THE DRIVEWAY  
1 : 50



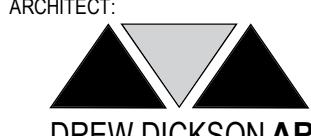
EXTRACT OF WILLOUGHBY CITY COUNCIL STANDARD LAYBACK, DWG NO. SD105 DATED NOV 2020 N.T.S



04 ELEVATION LOOKING NORTH FROM WILSON STREET AT KERB FACE  
1 : 50

Scale 1 : 50  
0 1 2 3

**NOTE: ALL DRIVEWAY, DRIVEWAY CROSSINGS, ROADWAY KERBS & GUTTERS SUBJECT TO CIVIL ENGINEER DETAIL**

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												Drawing Status: DEVELOPMENT APPLICATION				
												Project / Job No: 18014	Drawing No: A405	Revision: 03		
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		02	07/08/2024	ISSUED FOR COUNCIL RFI	EO											
		01	27/03/2024	ISSUED FOR COUNCIL RFI	EO											



# DEVELOPMENT APPLICATION LANDSCAPE DRAWINGS

Sheet Number	Sheet Name	Revision
LD-DA000	COVER SHEET & DESIGN STATEMENT	1
LD-DA001	MATERIALS & PLANTING SCHEDULES	1
LD-DA100	GROUND FLOOR AND PUBLIC DOMAIN LANDSCAPE PLAN	1
LD-DA101	LEVEL 3 LANDSCAPE PLAN	1
LD-DA102	LEVEL 14 LANDSCAPE PLAN	1
LD-DA200	LANDSCAPE CHARACTER	1
LD-DA300	TYPICAL SECTIONS	1
LD-DA900	OUTLINE SPECIFICATION & MAINTENANCE	1



- to increase the number of indigenous species planted in the Willoughby City Council region
- to eliminate the use of noxious weeds of potentially invasive species in developments
- to use plants in such a way to foster energy efficient development that relies on passive energy principles for heating and cooling
- to reduce maintenance and water consumption through appropriate species selection
- to create buffer zones and add to existing areas of remnant vegetation with locally indigenous species.

- Enhance the appearance and amenity of the proposed residential development by sensitively integrating architecture and landscape through effective site planning and landscape design.
- Consolidate the open space into a coherent landscape treatment that provides visual amenity from above and below.
- Take forward the landscape principles and urban design principles established by the Willoughby City Council DCP Establish a visually and environmentally sensitive landscape, complimentary to the architectural vision and greater urban setting, while providing high quality private spaces for residents and visitors.
- Provide new tree planting that ameliorates the building scale and offers environmental benefit through micro climate.

Create a garden terrace with both integrated seating areas

An upgrade and make-good of the public domain and associated streetscapes is included as part of the development offer to ensure seamless transitions throughout the ground plane. The ground plane is publicly accessible and offers a high quality civic environment with active retail frontages

The through site link acts as the central connectivity spine with finer grain permeability promoted throughout the ground plane maximising access and circulation. All fire exits are located near or adjacent to key pathways, pedestrian links and streetscapes promoting safe egress and evacuation if and when required.

All raised edges & planter walls are at seating height or lower allowing clear sight-lines and visibility throughout the ground plane. Trees are used to frame spaces and ensure clear visibility to and from the streetscape at all times. Regular congregation spaces and retail activation enables passive surveillance to all areas, discouraging undesired behaviour and possible blind spots.

The ground plane offers full universal accessibility to all reception, lobby and retail areas at maximum 1:14 grades have been implemented to ensure access for all is achieved

All planters have a minimum soil depth of 600mm with a minimum 150mm slab setback achieved throughout all landscaped areas in the development. This allows planter walls to be at seating height with additional 1:3 mounding to achieve soil depth for small trees where shown on plan. All noted planted areas in the design is permanent planting

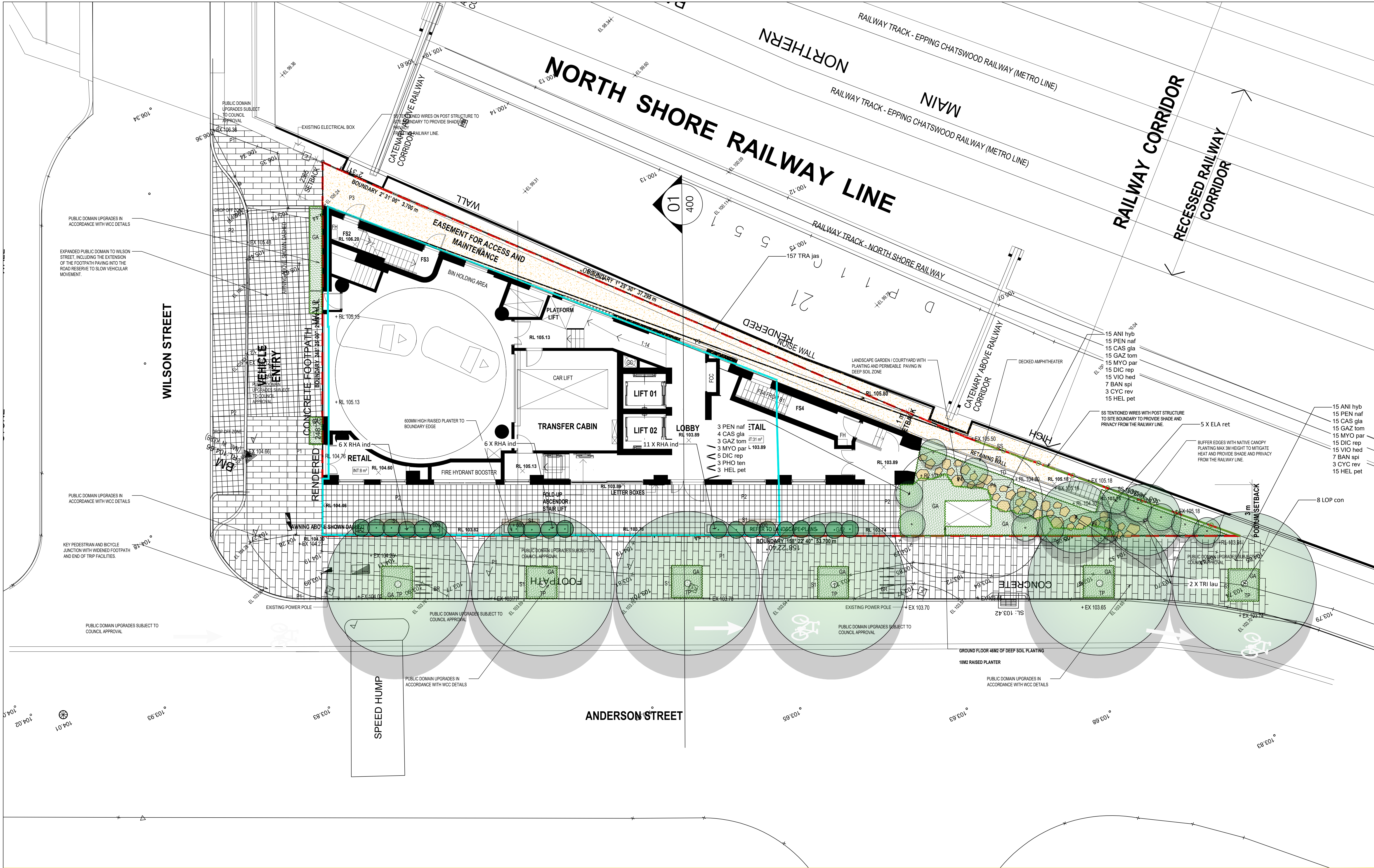
- Ground Floor 46m2 of Deep soil planting + 18m2 Raised planter
- Level 3 - 81m2 raised planter
- Penthouse - 32m2 raised planter
- 20m2 Total Planter box for vine growth for green façade.

Plot Date: 28 February 2023 - 1:43 PM      Plotted by: Charlie Robinson      Cad File No: C:\Users\CharlieRobinson\OneDrive - Landform Studios\1\Landform Studios\Company Files - Documents\2022\2022037 - 58 Anderson Chatswood DA\CAD\2022015-LD-DA 001\2\_2.dwg



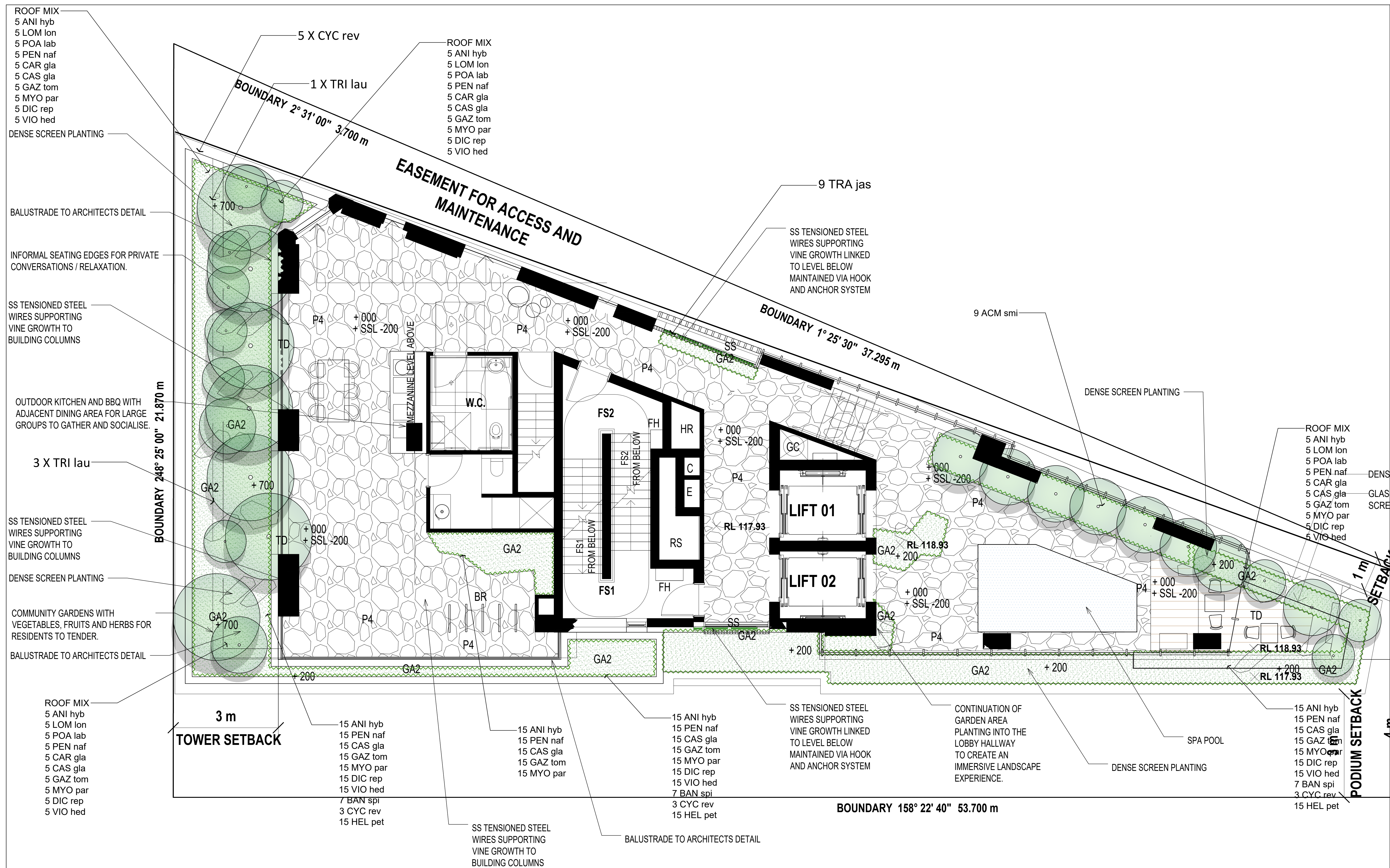
<div><div>LEGEND:</div><div><div><div><div></div></div><div>Site Boundary</div></div><div><div><div></div></div><div>Basement Extents</div></div><div><div><div><div>+EX 67.85</div><div>Existing levels: refer to site survey</div></div><div><div>+ RL 67.85</div><div>Proposed nominal design levels: refer to engineers drawings</div></div><div><div><div><div></div></div><div>Proposed trees - refer to planting schedule</div></div><div><div><div><div>GA</div></div><div>Proposed planting - refer to planting schedule</div></div><div><div><div><div>GA2</div></div><div>Raised planter area - Planter Depths to ADG standards</div></div><div><div><div>P1</div><div>Paving type 1: To public domain to Council standards</div></div><div><div><div>P2</div><div>Paving Type 2: To Driveways to Council standards</div></div><div><div><div>P3</div><div>Paving Type 3 : Decomposed granite</div></div><div><div><div>P4</div><div>Paving Type 4 : Stone Steppers in groundcover</div></div><div><div><div>P5</div><div>Paving Type 5 : COS - podium paving</div></div><div><div><div>TD</div><div>Hardwood Timber Deck</div></div><div><div><div>S1</div><div>Seating to Council standards</div></div><div><div><div>BN</div><div>Bin to Council standards</div></div><div><div><div>BR</div><div>Bike Racks to Council standards</div></div><div><div>General Notes:</div><div>For Site levels and architectural information refer to Civil and Architects drawings respectively.</div><div>For courtyard and overflow drainage refer to Hydraulic engineers drawings</div><div>All trees to be retained and are subject to tree protection &amp; management in accordance with relevant Australian standards.</div><div>External Lighting and electrical : refer to engineers details.</div><div>Contractor to protect all landscape works during construction including but not exclusive to existing verge.</div><div>Levels general : contractor to ensure positive drainage to all pavements, turf and planter areas, install subsoil drainage to planter areas as required.</div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div>							<div><div>MATERIALS SCHEDULE - DEVELOPMENT APPLICATION</div><table><tr><th>CODE</th><th>MATERIAL TYPE</th><th>DESCRIPTION</th></tr><tr><td colspan="3">SURFACES &amp; FINISHES</td></tr><tr><td>P1</td><td>Paving type 1: Large format Stone paverss in public domain to Council standards. Application: To Public Domain Footpaths</td><td>To Council Standards  Note: Subbase to Engineers details. Paving mortar bedded onto concrete base slab * Engineer to confirm thickness of unit</td></tr><tr><td>P2</td><td>Paving type 2: Small format Stone pavers in public domain to Council standards. Application: To Public Domain Footpaths</td><td>To Council Standards  Note: Subbase to Engineers details. 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Size: 20-40mm Colour: Nepean River Pebble Finish: N/A</td></tr><tr><td>SF</td><td>Rubber Softfall  Application: To Level 9 Outdoor Gym Area</td><td>Size: N/A Colour: Varied Finish: Exposure Grade</td></tr><tr><td colspan="3">WALLS, FURNITURE AND FIXINGS</td></tr><tr><td>W1</td><td>Wall type 1: Insitu concrete planter wall  Appciation: To raised planter areas</td><td>Size: 200mm wide Type: Reinforced insitu off white concrete wall; Class 2 to comply with AS 3610 Finish: Smooth Accessories: Provide 20mm chamfer to top edges. Integrated LED light strip to Architects detail</td></tr><tr><td>S1</td><td>Seating Wall Type 1: Precast Concrete seating  Application: To Amphitheatre Areas</td><td>Size: N/A Type: off white concrete wall; Class 2 to comply with AS 3610 Accessories: Adjustable LED strip lighting</td></tr><tr><td>SS</td><td>SS tensioned steel wires supporting vine growth linked to level below maintained via hook and anchor system Application: To Facade as shown</td><td>Size: N/A Stainless Steel - JAKOB INLINE SYSTEM</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table></div>			CODE	MATERIAL TYPE	DESCRIPTION	SURFACES & FINISHES			P1	Paving type 1: Large format Stone paverss in public domain to Council standards. Application: To Public Domain Footpaths	To Council Standards  Note: Subbase to Engineers details. 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						ARCHITECTURE		FORM		This document may only be used by the client (and any other person who the client has agreed can use this document) for the purpose for which it was prepared and must not be used by any other person or for any other purpose.		Approved (Project Director)		Design Check		Title	
								STUDIOS				Date				Ground Floor & Public Domain Landscape Plan	
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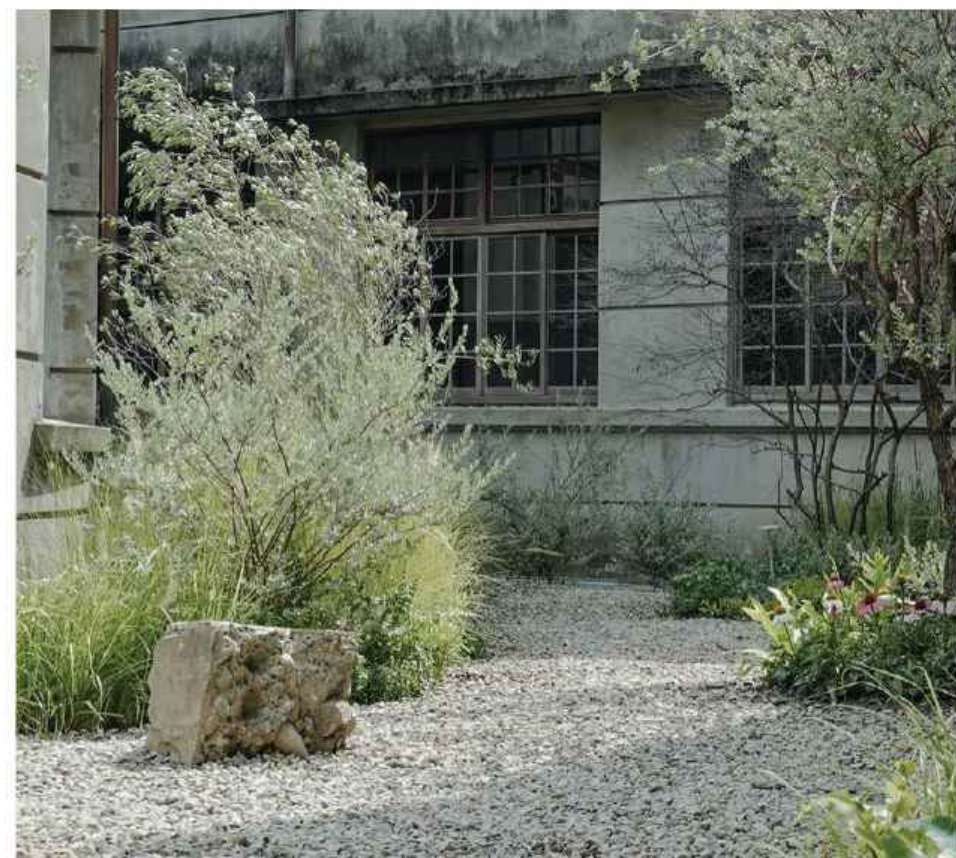
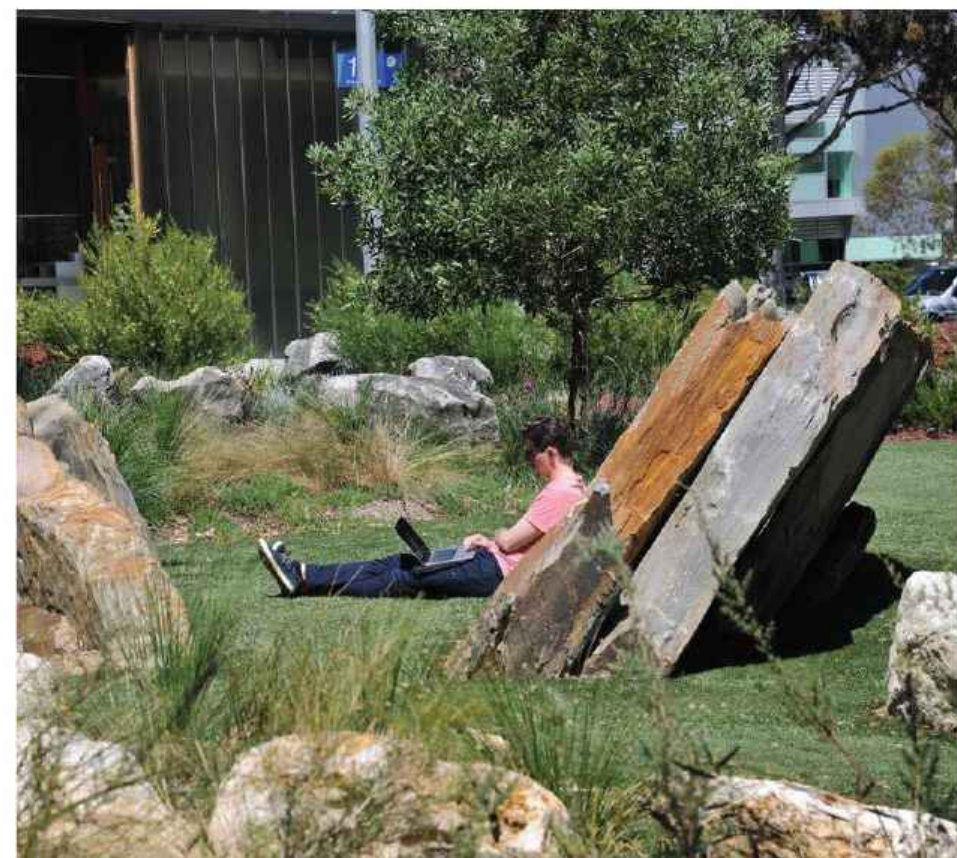








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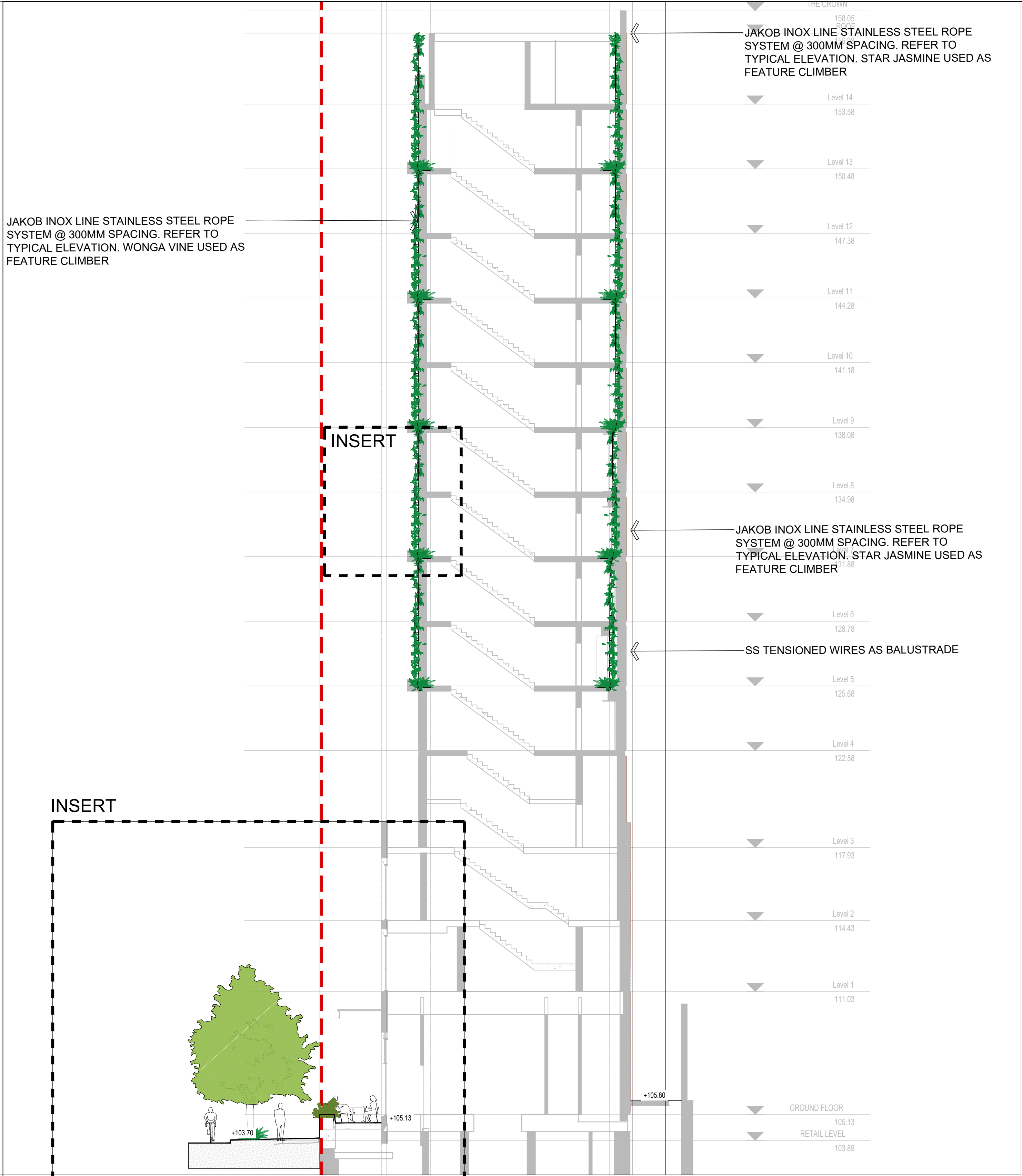


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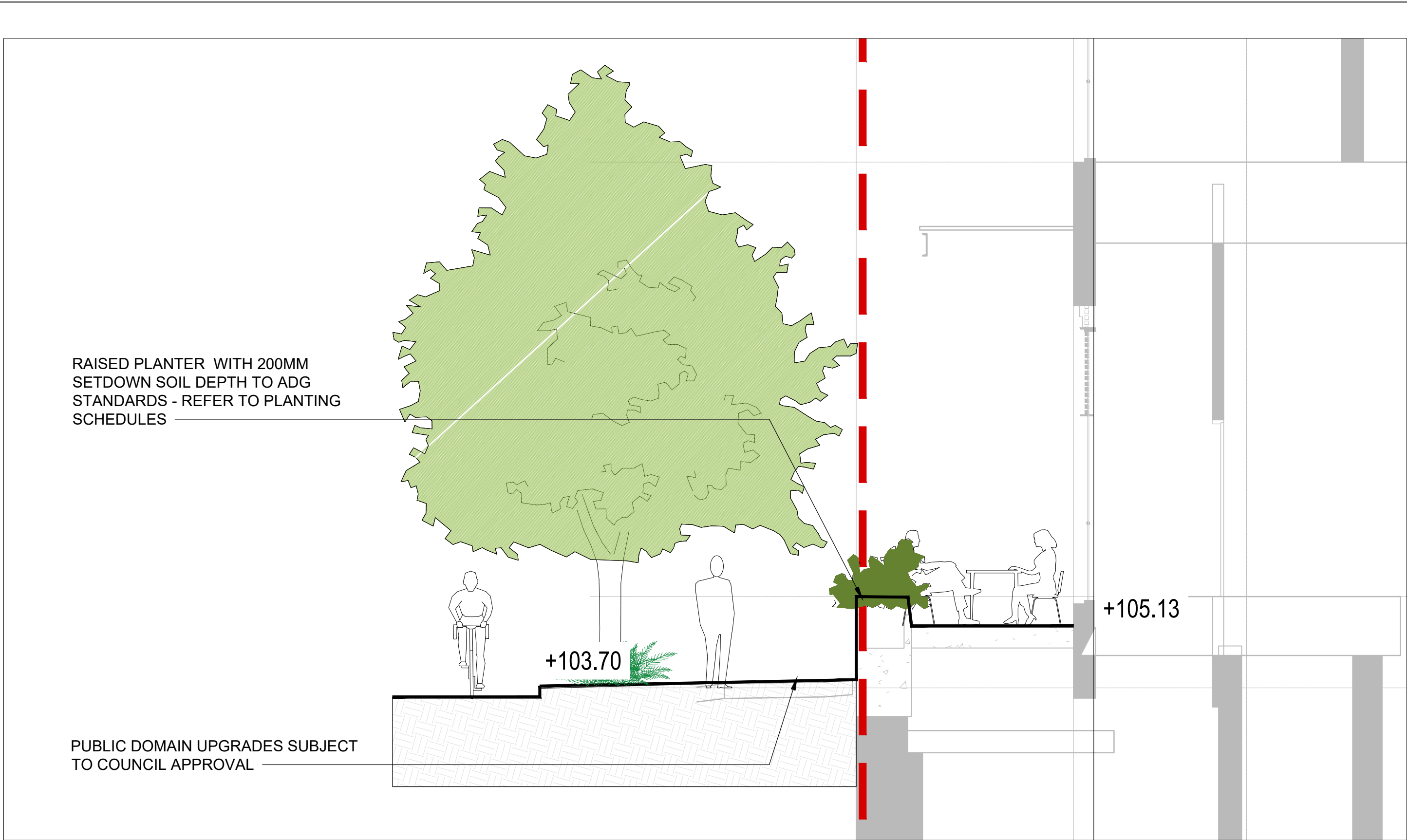
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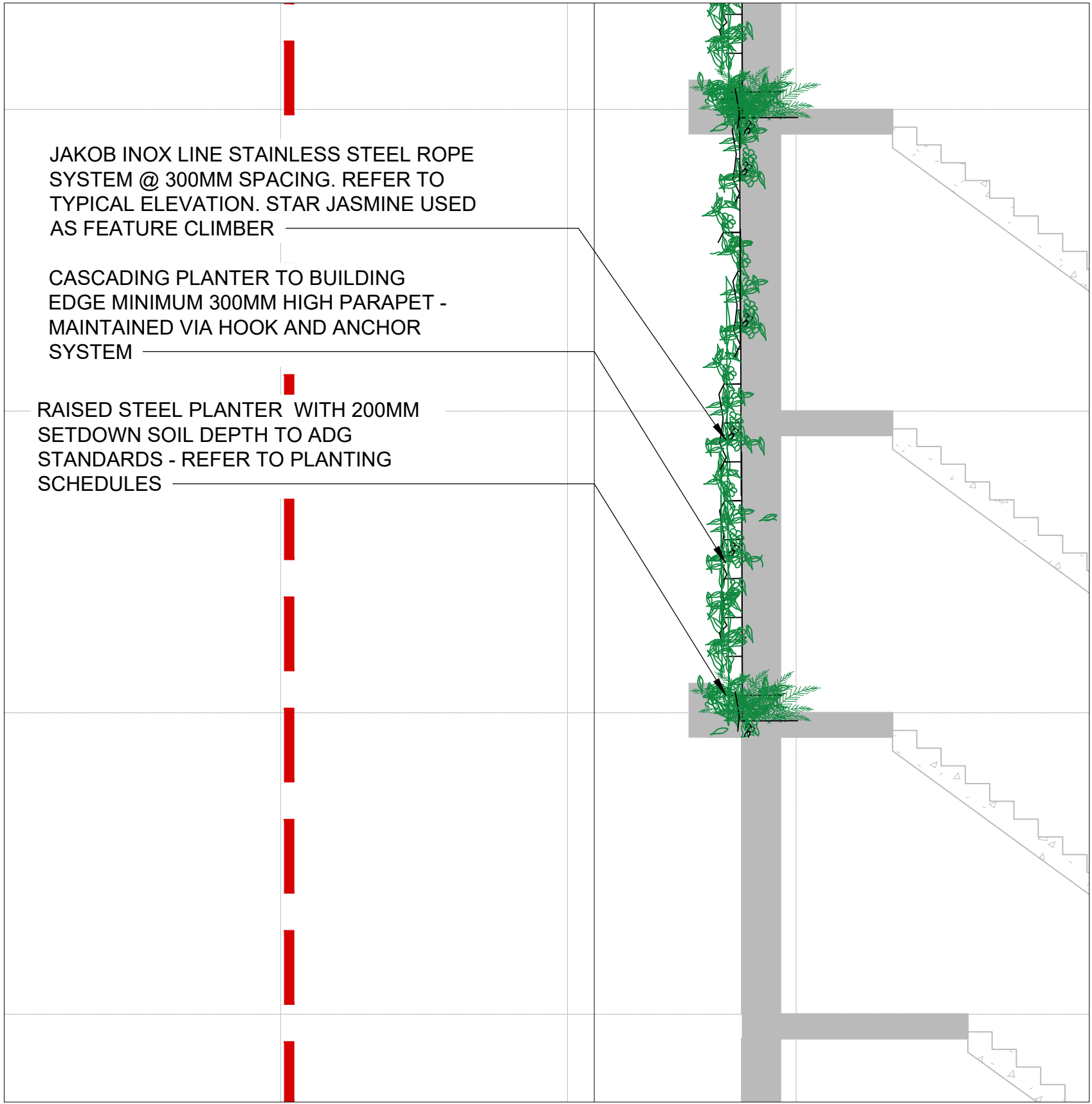




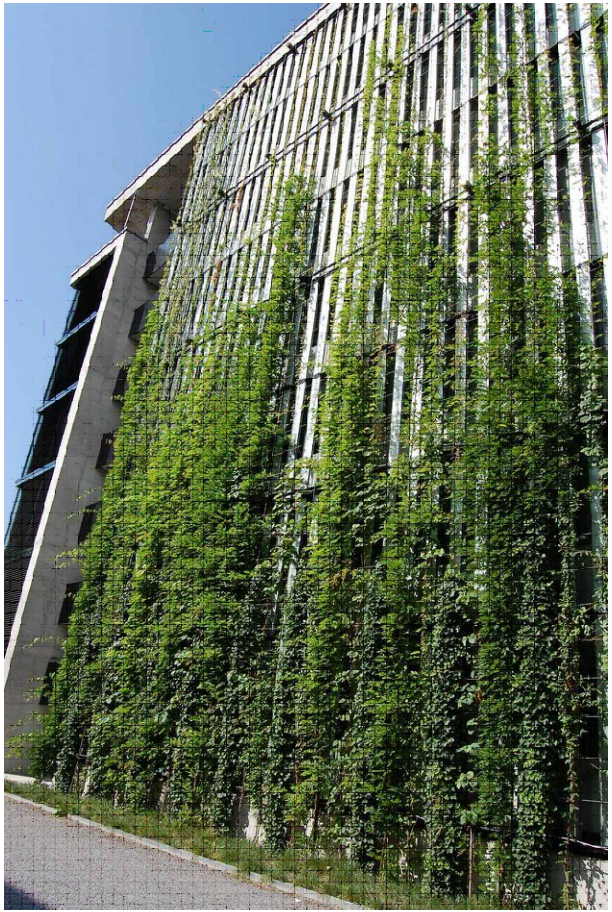
01 TYPICAL SECTION AA - GREEN TRELLIS  
1:125



02 TYPICAL SECTION INSERT - STREET FRONTAGE  
1:50



03 TYPICAL SECTION INSERT - GREEN TRELLIS  
1:50



IMAGES TO CONVEY DESIGN INTENT ONLY

1	DEVELOPMENT APPLICATION	RI	CR	CR	16.02.23
-	PRE DA	RI	CR	CR	18.10.22
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CLIENT

REYHODA PTY LTD

ARCHITECT

DREW DICKSON  
ARCHITECTURE

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Drawn

RI

Designer

CR/RI

Drafting

CR

Design

CR

Approved

(Project Director)

Date

Scale

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Client

REYHODA PTY LTD

Project

58 ANDERSON STREET, CHATSWOOD

Title

TYPICAL SECTIONS

Original Size

A1

Drawing No:


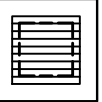



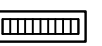
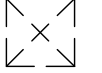




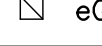
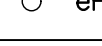

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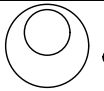




Rev: 1



# STORMWATER MANAGEMENT PLAN

## 58 ANDERSON STREET, CHATSWOOD NSW 2067

LEGEND	
DP ●	DOWNPIPE
—>>>—	STORMWATER LINE
—>>>—	STORMWATER LINE DRAINING TO RWT
— OF —	OVER FLOW PIPE
— SSD —	SUBSOIL LINE
— SWRM —	STORMWATER RISING MAIN
— e —	EXISTING STORMWATER LINE
— SW — SW —	AUTHORITY STORMWATER LINE
— HL — HL —	HIGH LEVEL STORMWATER LINE
— S —	AUTHORITY SEWER LINE
— W —	AUTHORITY WATER LINE
— G — G —	AUTHORITY GAS LINE
— E —	AUTHORITY ELECTRICITY LINE
— FO — FO — FO —	AUTHORITY FIBRE OPTIC LINE
— TEL —	AUTHORITY COMMS LINE
— / — / —	FENCE LINE
	GRATED SURFACE INLET PIT
	GRATED SURFACE INLET PIT WITH ENVIROPOD INSERT
	JUNCTION PIT
	KERB INLET PIT
	EXISTING GRATED SURFACE INLET PIT
	GRATED TRENCH DRAIN
	EXISTING JUNCTION PIT
	EXISTING KERB INLET PIT
 eTEL	EXISTING TELSTRA PIT
 eHYD	EXISTING HYDRANT
 eSV	EXISTING STOP VALVE
 eGAS	EXISTING GAS VALVE
 ePP	EXISTING POWER POLE
 eBT	EXISTING BOUNDARY TRAP

LEGEND	
FF ○	FIRST FLUSH
 eSMH	EXISTING SEWER MANHOLE
OFF →	OVERLAND FLOW PATH
RWO ○	RAINWATER OUTLET
PS ●	PIPE STAND
CO ○	CLEAR OUT POINT
DDO ○	DISH DRAIN OUTLET
PD ○	PLANTER DRAIN
└	CAPPING
(1.01)	PIT TAG/NUMBER
RH ☒	RAINHEAD
	DOWNPIPE DROP
	NON RETURN VALVE
	WALL PENETRATION
DP ●└	DOWNPIPE SPREADER
	WARNING LIGHT
0.00 ●	SPOT LEVELS
▲	BENCHMARK



BEFORE YOU DIG SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION ON SITE  
TM: TRADE MARK OF THE ASSOCIATION OF DIAL BEFORE YOU DIG SERVICES LTD. USED UNDER LICENSE.

SERVICES SHOWN ON PLAN ARE INDICATIVE, EXACT DEPTH AND LOCATION TO BE CONFIRMED ONSITE. CONTRACTOR TO CARRY OUT DIAL BEFORE YOU DIG APPLICATION AND ENGAGE A REGISTERED SURVEYOR TO PEG OUT ALL EXISTING SERVICES PRIOR TO ANY WORK COMMENCING ONSITE.

DRAWING REGISTER		
NUMBER	NAME	REVISION
SW001	COVER SHEET	H
SW010	BASEMENT 3 FLOOR PLAN, NOTES & DETAILS	H
SW011	BASEMENT 2 FLOOR PLAN, NOTES & DETAILS	H
SW012	BASEMENT 1 FLOOR PLAN, NOTES & DETAILS	H
SW020	GROUND FLOOR PLAN, NOTES & DETAIL	H
SW021	ON-SITE DETENTION SECTIONS & DETAILS	H
SW022	STORMFILTER SYSTEM SECTIONS & DETAILS	H
SW030	LEVEL 3 PLAN, NOTES & DETAILS	H
ERO01	EROSION AND SEDIMENT CONTROL PLAN	H

### DRAINAGE NOTES:

ALL PIPES TO BE LAID ON 75mm SAND BED WITH THE BARRELS FULLY SUPPORTED

100mm AND 150mm DIAMETER PIPES TO BE LAID ON MINIMUM 1% GRADE

MINIMUM DEPTH OF COVER FOR PIPES NOT SUBJECT TO VEHICULAR LOADING TO BE 300mm

ALL DRAINAGE PIPES LAID UNDER PAVEMENT SHALL BE REINFORCED CONCRETE WITH RUBBER RING JOINTS

BACKFILL TRENCHES WITH COMPACTED SAND OR APPROVED AGGREGATE MATERIAL

ALL PITS TO HAVE 600x600mm INTERNAL DIMENSIONS (U.N.O.)

SILT ARRESTORS TO HAVE 900x900mm INTERNAL DIMENSIONS

HEAVY DUTY GRATES AND COVERS ARE TO BE PROVIDED IN TRAFFICABLE AREAS

PIT GRATE TO BE TYPE WELDLÖK OR APPROVED EQUIVALENT

ALL PITS SHALL BE PROVIDED WITH A LOCKING CLIP

ALL PITS SHALL BE MAINTAINED REGULARLY

TOP OF BENCHING SHALL BE TO THE HALF OF THE OUTLET PIPE DIAMETER

MAXIMUM FRONT ENTRY PIPE: –  
STRAIGHT ENTRY – Ø750  
SKEW ENTRY 45° – Ø525

Ø100 SUBSOIL DRAINAGE PIPE 3000mm LONG WRAPPED IN FABRIC SOCK TO BE PROVIDED ADJACENT TO INLET PIPES

COMPRESSIVE STRENGTH  $f_c$  FOR CAST IN SITU CONCRETE TO BE A MINIMUM OF 20MPa AT 28 DAYS

PROVIDE CLEANING EYES TO ALL DOWNPIPES NOT DIRECTLY CONNECTED TO PITS

ISOLATED JOINTS TO BE PROVIDED TO ISOLATE CONCRETE PAVEMENTS FROM PITS

ALL TRENCH GRATES PROVIDED SHALL HAVE A MINIMUM CLEAR WIDTH OF 200mm

STORMWATER DRAINAGE CONNECTIONS TO THE MAIN SYSTEM SHALL BE TO THE REQUIREMENTS AND THE SATISFACTION OF LOCAL COUNCIL

### ABBREVIATIONS:

Ø or DIA	DIAMETER
CBR	CALIFORNIA BEARING RATIO
CH	CHAINAGE
CL	CENTER LINE
CO	CLEAR OUT
DD	DISH DRAIN
DDO	DISH DRAIN OUTLET
DEJ	DOWELLED EXPANSION JOINT
DGB	DENSE GRADED BASECOURSE
DGS	DENSE GRADED SUB-BASE
DP	DOWNPIPE
e	EXISTING
FFL	FINISHED FLOOR LEVEL
GTD	GRATED TRENCH DRAIN
GSIP	GRATED SURFACE INLET PIT
HYD	HYDRANT
IJ	ISOLATING JOINT
IK	INTEGRAL KERB
IL	INVERT LEVEL
IP	INTERSECTION POINT
KIP	KERB INLET PIT
KO	KERB ONLY
K&G	KERB & GUTTER
KR	KERB RETURN
LS	LONGITUDINAL SECTION
NGL	NATURAL GROUND LEVEL
OFD	OVERLAND FLOW PATH
OSD	ON-SITE DETENTION
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RK	ROLL KERB & GUTTER
RL	REDUCED LEVEL
RW	RETAINING WALL
RWT	RAINWATER TANK
SJ	SAWN CONTROL JOINT
SMH	SEWER MAN HOLE
SW	STORMWATER
SWP	STORMWATER PIT
SWRM	STORMWATER RISING MAIN
SWS	STORMWATER SUMP
SV	STOP VALVE
TOK	TOP OF KERB
TOW	TOP OF WALL
TWL	TOP WATER LEVEL
TP	TANGENT POINT
UPVC	UNPLASTICISED POLYVINYL CHLORIDE
UNO	UNLESS NOTED OTHERWISE
WFJ	WEAKENED PLANE JOINT
FF	FIRST FLUSH DEVICE
TYP	TYPICAL
BM	BENCH MARK

### STORMWATER PIPE BEDDING/PAVING NOTES:

WHERE TRENCH BASE IS ROCK A MINIMUM OF 75mm BEDDING TO BE PROVIDED UNDER PIPE COLLARS.

STORMWATER PIPE BEDDING DETAIL TO BE IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS. BEDDING DETAILS TO BE CONFIRMED UPON EXCAVATION & PRIOR TO INSTALLATION OF PIPEWORK.

### FOOTPATH REINSTATEMENT NOTES:

REMOVE ALL SAND FILL WITHIN THE FOOTPATH AREA TO THE EXISTING SUBGRADE.

SUPPORT ALL AUTHORITY SERVICES TO STRUCTURAL ENGINEERS DETAILS DURING EXCAVATION.

REINSTATE FOOTPATH SUBGRADE.

THE CONTRACTOR SHALL PROVIDE CERTIFICATION OF COMPACTION FROM A NATA REGISTERED TESTING AUTHORITY. MINIMUM THREE TESTS PER LAYER AS FOLLOWS:

SELECT FILL	95% MODIFIED
SELECT FILL (LESS THAN 300mm BELOW BASE COURSE)	98% MODIFIED
BASE COURSE	100% MODIFIED

### EROSION & SEDIMENT CONTROL NOTES:

PROVIDE SILT FENCE/HAY BAIL BARRIERS TO THE LOW SIDE OF ALL EXPOSED EARTH EXCAVATIONS (TYPICAL).

ISOLATE EXISTING STORMWATER PITS WITH HAY BALES TO FILTER ALL INCOMING FLOWS.

DO NOT STOCK PILE EXCAVATED MATERIAL ON THE ROAD WAY.

### SURVEY

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY REGISTERED SURVEYORS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. CAPITAL ENGINEERING CONSULTANTS DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAW.

SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT CAPITAL ENGINEERING CONSULTANTS.

SERVICES SHOWN ON PLAN ARE INDICATIVE, EXACT DEPTH AND LOCATION TO BE CONFIRMED ONSITE. CONTRACTOR TO CARRY OUT DIAL BEFORE YOU DIG APPLICATION AND ENGAGE A REGISTERED SURVEYOR TO PEG OUT ALL EXISTING SERVICES PRIOR TO ANY WORK COMMENCING ONSITE.

IT IS THE BUILDERS RESPONSIBILITY TO MAKE SURE ALL SURVEY MARKS TO BE PRESERVED AT ALL COST.

PROPOSED MIXED USE DEVELOPMENT  
58 ANDERSON STREET, CHATSWOOD NSW 2067

Scale 1:100 @ A1 Date 29/10/2024 Drawn S.C. Design S.C. Approved P.E.



9630 0121  
8 Buller Street, North Parramatta, NSW 2151  
www.cec-au.com

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Rev	Description	By	Chk	Date
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Architect  
**DREW DICKSON ARCHITECTS**  
SUITE 2, GROUND FLOOR 183 ALEXANDER STREET  
CROWNS NEST NSW 2065  
INFO@DDA-AMSTRALIA.COM  
02 9601 3433  
DDA-AUSTRALIA.COM

FOR COUNCIL / CONSTRUCTION CERTIFICATE ISSUE

APPROVED BY:

PAUL EL-BAYEH

B.E. (Civil), M.E. (Structural & Foundation),  
F.Aust. CPEng No. 3132140, NER, NPQ.

DATE:

29/10/2024

Title

STORMWATER LAYOUT PLAN  
COVER SHEET

DO NOT SCALE DRAWING, USE FIGURED DIMENSIONS ONLY

North Project Number Revision

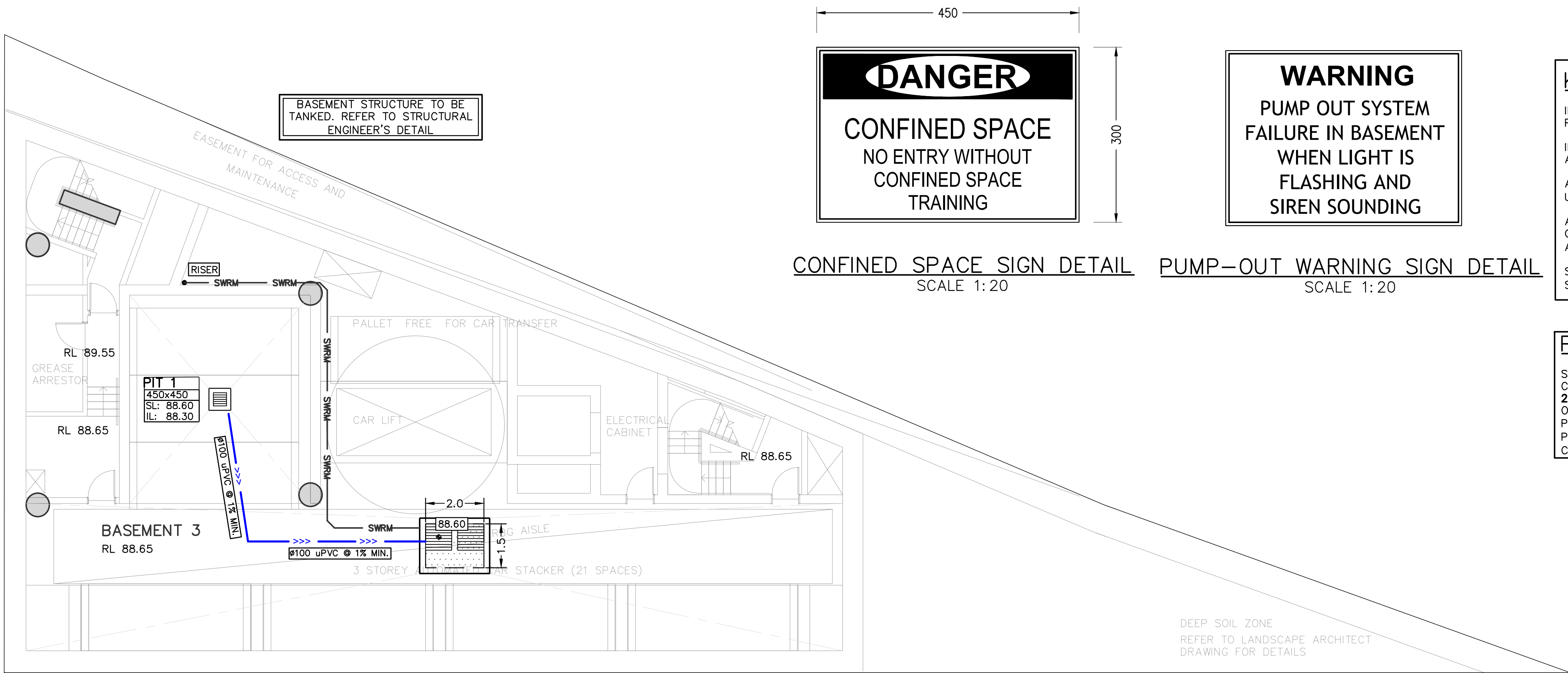
SW22329

Drawing Number

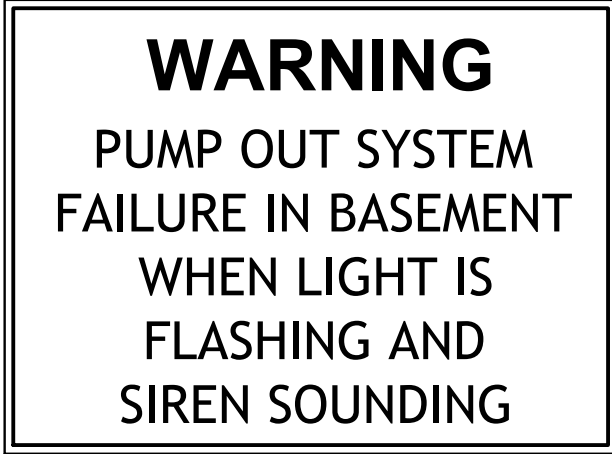
SW001

H





CONFINED SPACE SIGN DETAIL  
SCALE 1:20



PUMP-OUT WARNING SIGN DETAIL  
SCALE 1:20

**KEY NOTES:**

INSTALL STEP IRONS FOR EASE OF ACCESS DURING MAINTENANCE OF PUMP OUT CONTROL PIT TO COUNCIL SATISFACTION.

INSTALL CONFINED SPACE SIGN ABOVE PUMP OUT PIT FOR PUBLIC AWARENESS AND WARNING.

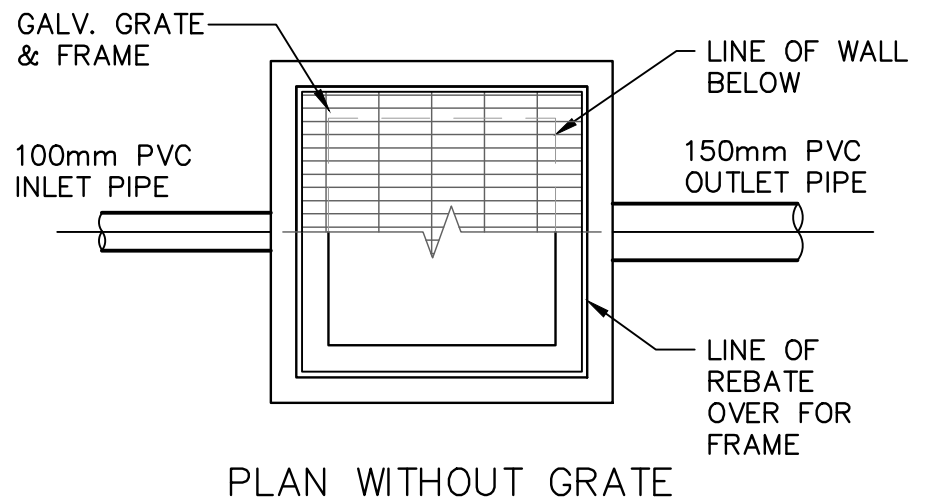
ALL STORMWATER PIPES ARE ø100mm uPVC AND SLOPING @ 1.0% U.N.O (TYP).

ALL BUILDING AND HYDRAULIC SERVICES TO BE PROPERLY CO-ORDINATED WITH STORMWATER PIPES AND ENSURE NO CLASHES ARE PRESENT DURING CONSTRUCTION (TYP).

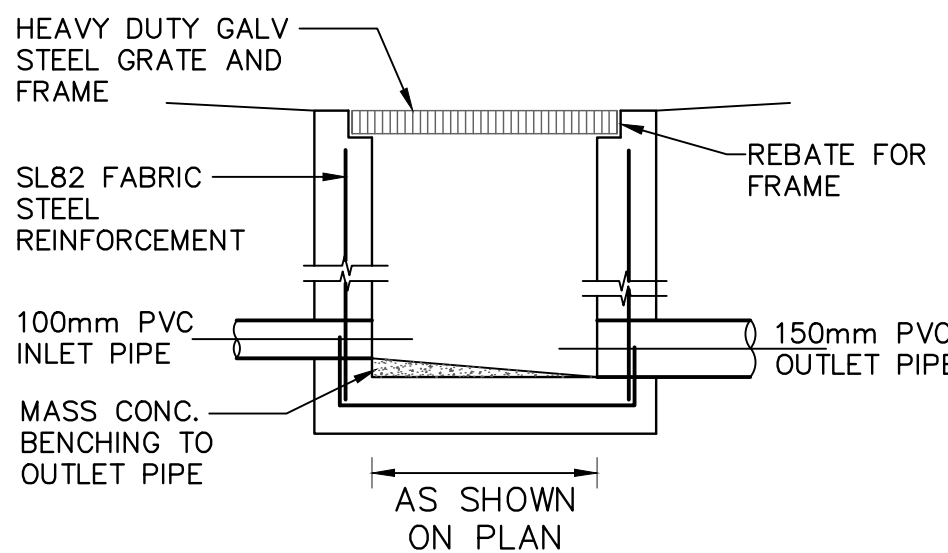
STORMWATER PIPE ARRANGEMENT TO BE CO-ORDINTED WITH STRUCTURAL SLAB AND BEAMS WHERE REQUIRED (TYP).

**PUMP COMPLIANCE:**

SELECTED PUMPS IN ALL BASEMENT CARPARK AREAS **MUST BE CLASS 1 ZONE 2** HAZARDOUS LOCATION RATED. DETAILS OF COMPLIANCE MUST BE PROVIDED BY PUMP MANUFACTURER/INSTALLER TO CEC P/L. ALTERNATIVE PRODUCTS WILL NOT BE CERTIFIED BY CEC P/L.



PLAN WITHOUT GRATE



SECTION

TYPICAL GRATED VEHICLE INLET PIT DETAIL  
SCALE: 1:20

**STANDARD PUMP OUT DESIGN NOTES:**

THE PUMP OUT SYSTEM SHALL BE DESIGNED TO BE OPERATED IN THE FOLLOWING MANNER: –

I). THE PUMPS SHALL BE PROGRAMMED TO WORK ALTERNATELY TO ALLOW BOTH PUMPS TO HAVE AN EQUAL OPERATION LOAD AND PUMP LIFE.

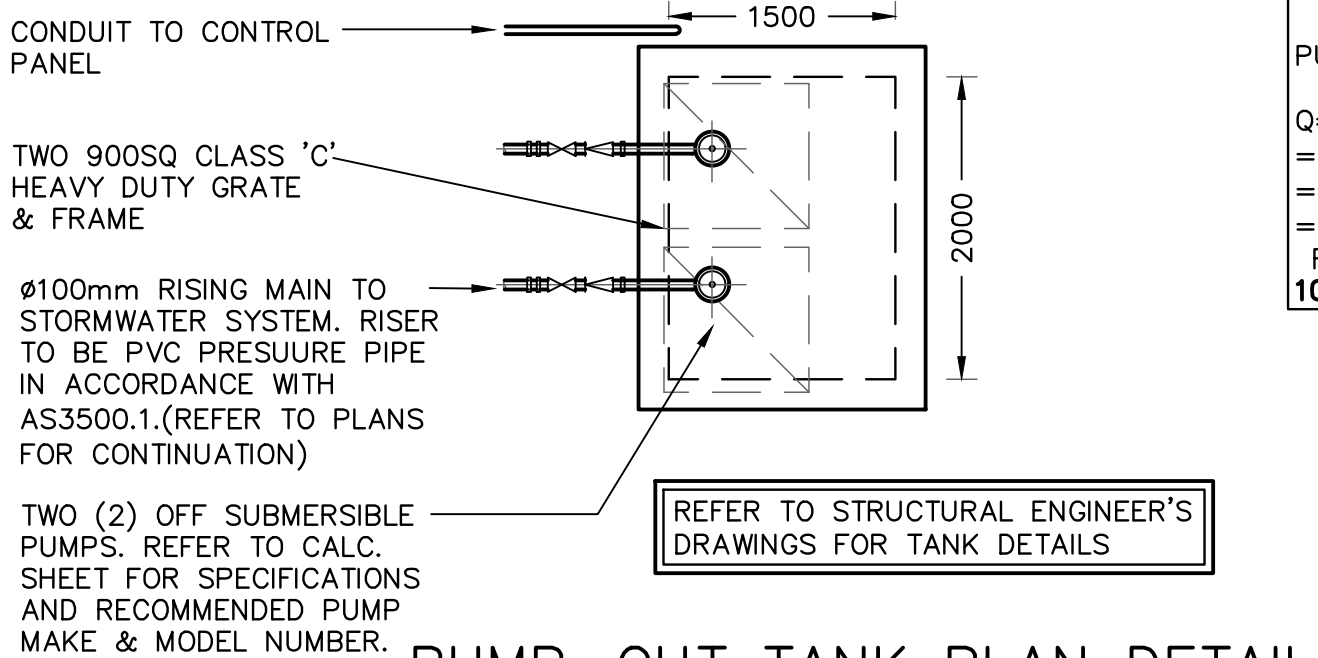
II). A FLOAT SHALL BE PROVIDED TO ENSURE THAT THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK. IN THIS REGARD THIS FLOAT WILL FUNCTION AS AN OFF SWITCH FOR THE PUMPS AT THE MINIMUM WATER LEVEL. THE SAME FLOAT SHALL BE SET TO TURN ONE OF THE PUMPS ON UPON THE WATER LEVEL IN THE TANK RISING TO APPROXIMATELY 300MM ABOVE THE MINIMUM WATER LEVEL. THE PUMP SHALL OPERATE UNTIL THE TANK IS DRAINED TO THE MINIMUM WATER LEVEL.

III). A SECOND FLOAT SHALL BE PROVIDED AT A HIGH LEVEL, WHICH IS APPROXIMATELY THE ROOF LEVEL OF THE BELOW GROUND TANK. THIS FLOAT SHALL START THE OTHER PUMP THAT IS NOT OPERATING AND ACTIVATE THE ALARM.

IV). AN ALARM SYSTEM SHALL BE PROVIDED WITH A FLASHING STROBELIGHT AND A PUMP FAILURE WARNING SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP IN CASE OF POWER FAILURE.

V). A CONFINED SPACE DANGER SIGN SHALL BE PROVIDED AT ALL ACCESS POINTS TO THE PUMP OUT STORAGE TANK IN ACCORDANCE WITH THE UPPER PARRAMATTA RIVER CATCHMENT TRUST OSD HANDBOOK.

STORMWATER LAYOUT PLAN  
BASEMENT 3  
SCALE 1:100



PUMP-OUT TANK PLAN DETAIL  
SCALE 1:50

**PUMP STORAGE CALCS:**

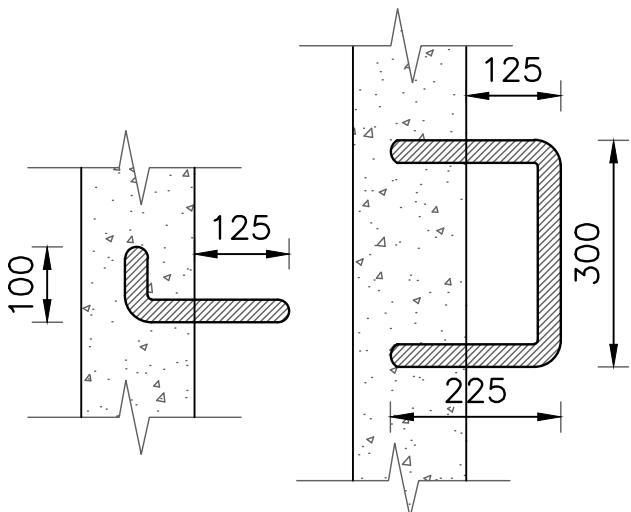
**BELOW GROUND STORAGE:**

100yr 2hr ARI STORM= 91.7mm  
CATCHMENT AREA= 0m<sup>2</sup>

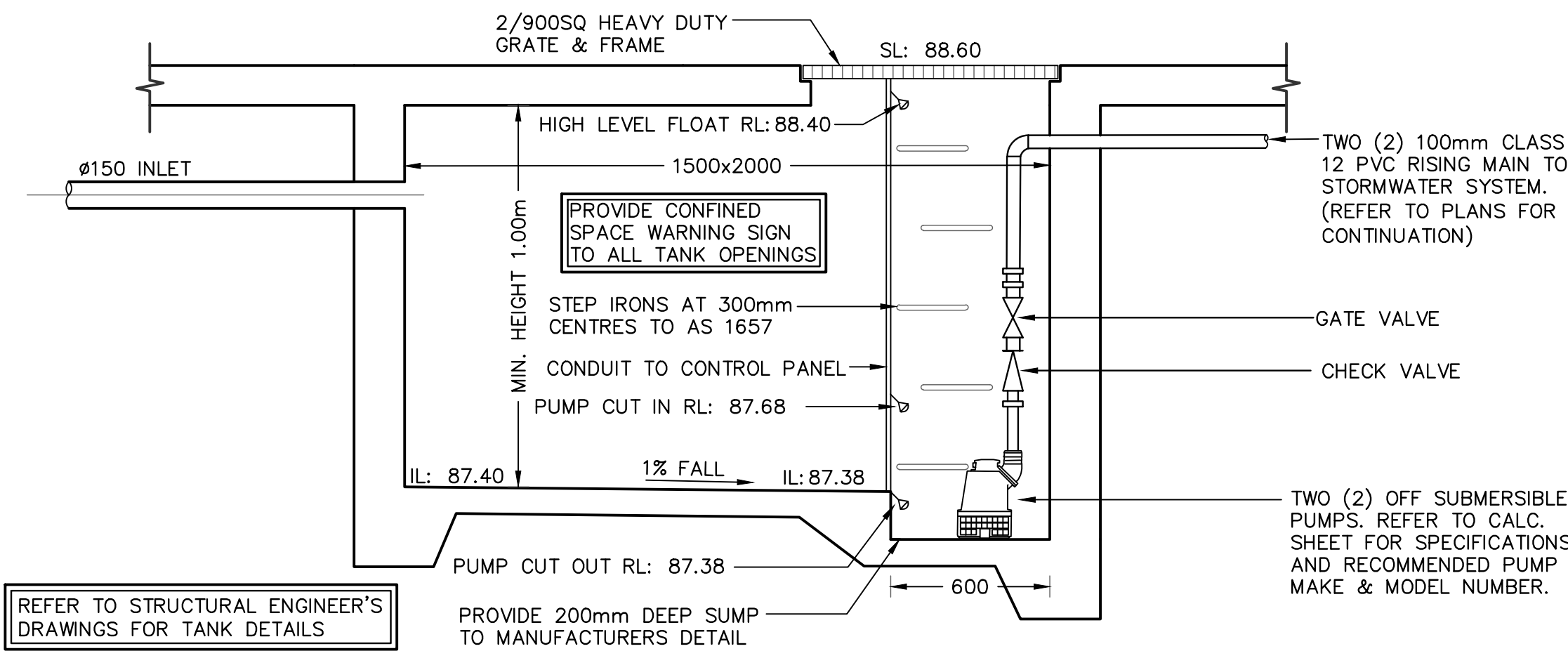
$V = A \times d$   
= 0x(91.7/1000)  
= 0m<sup>3</sup> REQUIRED  
= 3m<sup>3</sup> PROVIDED

PUMP DISCHARGE RATE WAS DESIGNED FOR THE 100yr 5 MIN STORM:

$Q = CIA/3600$   
= 1.0x249x0/3600  
= 0 L/s REQUIRED @ 16.54 m OF HEAD  
= 3 L/s PROVIDED @ 16.54 m OF HEAD  
RECOMMENDED PUMP: DUAL **SABRE** MODEL NO. KS-50 PUMPS WITH **100mm PVC CLASS 12** OUTLETS.



STEP IRON DETAIL  
SCALE: 1:10



PUMP-OUT TANK SECTION DETAIL  
SCALE N.T.S.

# PROPOSED MIXED USE DEVELOPMENT

## 58 ANDERSON STREET, CHATSWOOD NSW 2067

Scale 1:100 @ A1 Date 29/10/2024 Drawn S.C. Design S.C. Approved P.E.



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Architect  
**DREW DICKSON ARCHITECTS**  
SUITE 2, GROUND FLOOR 183 ALEXANDER STREET  
CROWNS NEST NSW 2065  
info@dd-a.com.au  
02 9001 3433  
DDA-AUSTRALIA.COM

FOR COUNCIL / CONSTRUCTION CERTIFICATE ISSUE

APPROVED BY: **PAUL EL-BAYEH**  
B.E. (CIVIL), M.E. (Structural & Foundation)  
FRAust, CPRef No. 3132140, NER, NPFO

DATE: 29/10/2024

REGISTERED  
**NER**  
Engineers Australia

Title  
**STORMWATER LAYOUT PLAN  
BASEMENT 3 FLOOR PLAN,  
NOTES & DETAILS**

DO NOT SCALE DRAWING, USE FIGURED DIMENSIONS ONLY

North

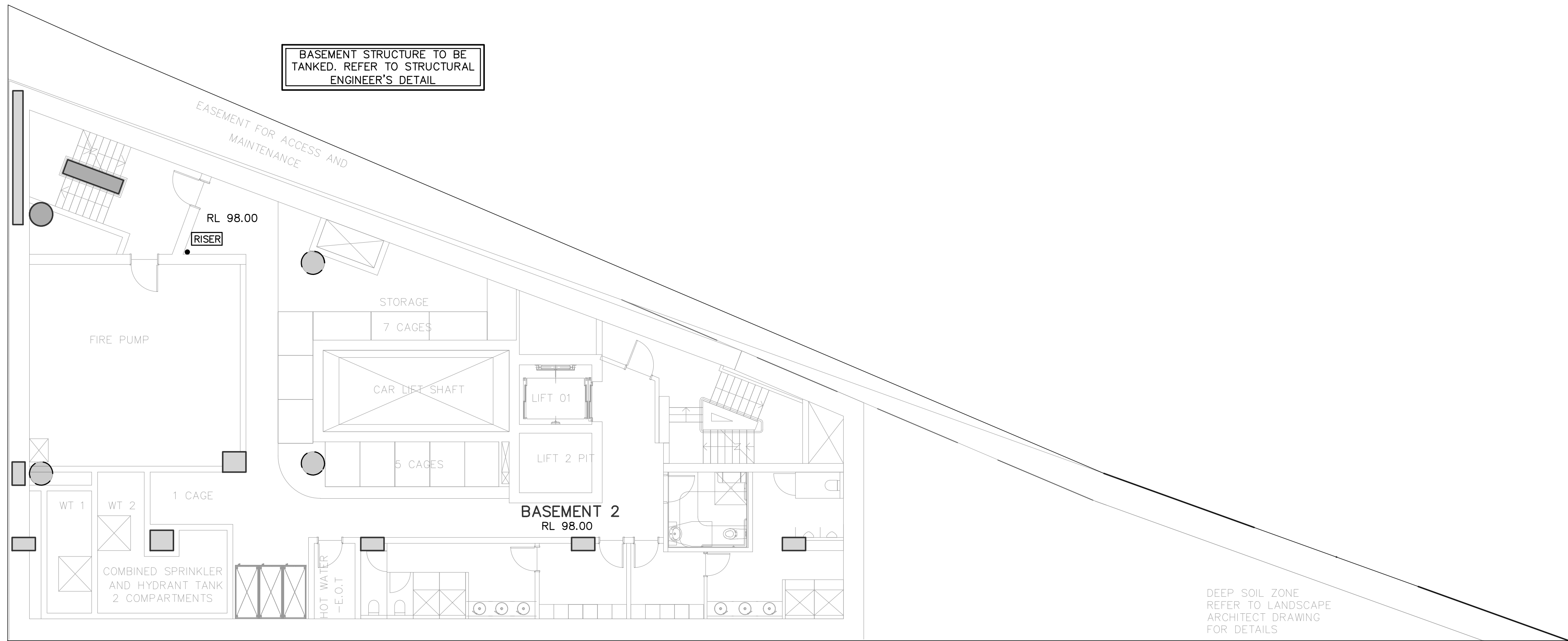
Project Number  
**SW22329**

Revision

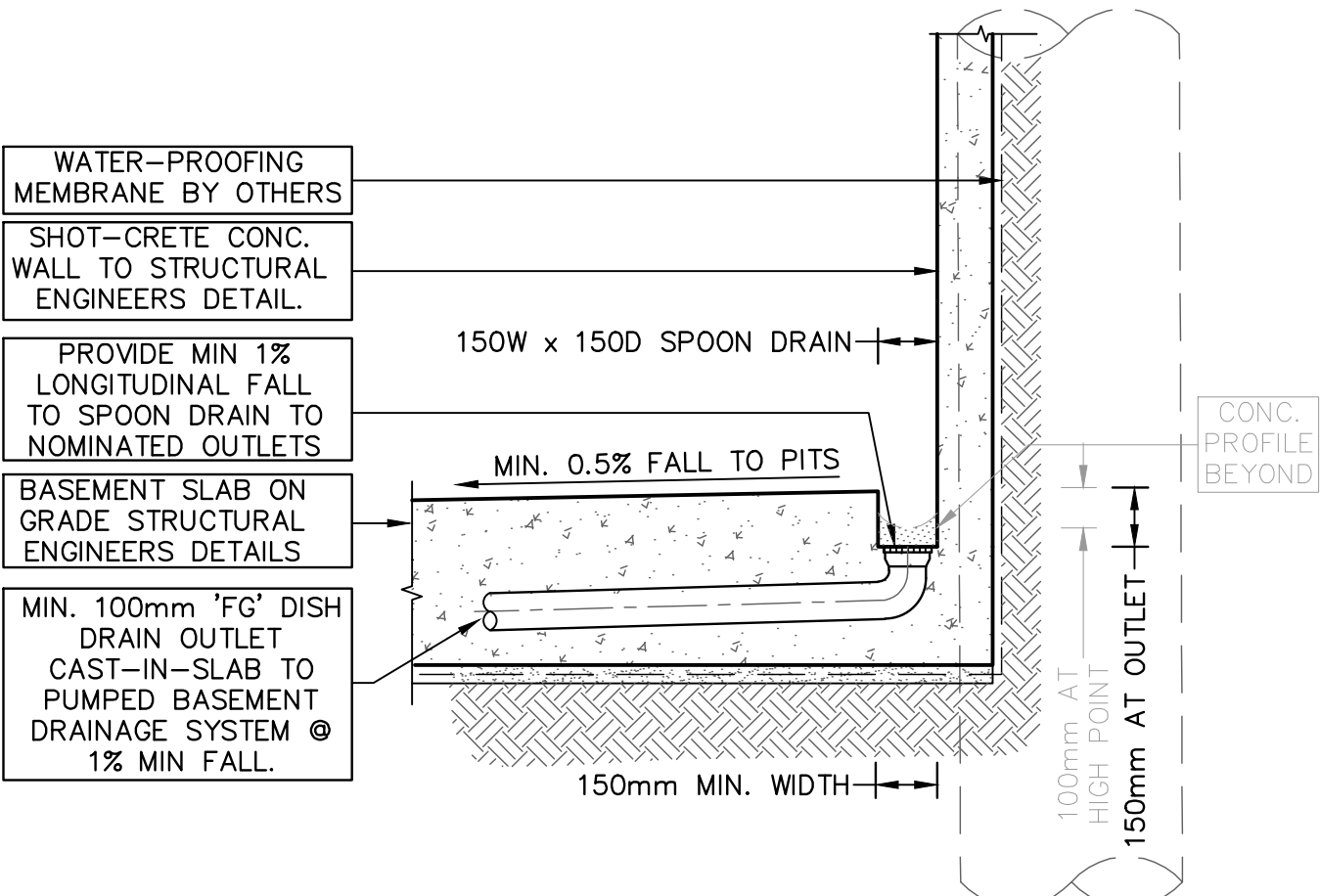
Drawing Number  
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**H**



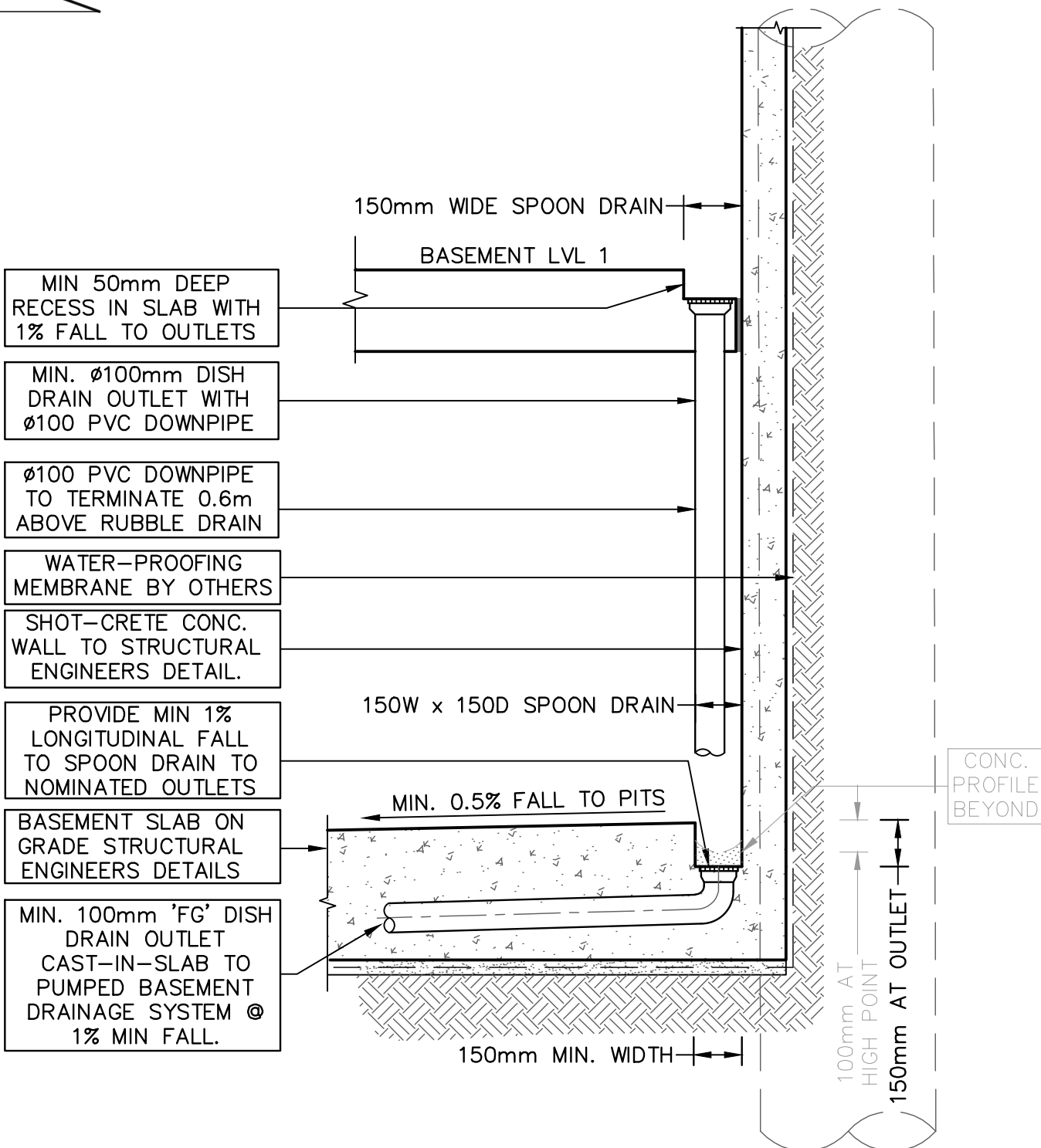


STORMWATER LAYOUT PLAN  
BASEMENT 2  
SCALE 1:100



TYPICAL 'TANKED BASEMENT' PERIMETER  
WALL DRAINAGE DETAIL  
NOT TO SCALE

- NOTES: –
- ALL DISH DRAIN OUTLET LINES CAST IN SLAB TO BE MIN. Ø100 SEWER GRADE uPVC AT MIN 1% FALL.
  - DISCHARGE DISH DRAIN OUTLETS INTO STORMWATER PITS AT 10m C–C MAXIMUM INTERVALS (WHERE PRACTICAL)
  - REFER TO STRUCTURAL ENGINEERS PLANS FOR ALL STRUCTURAL DETAILS AND SPECIFICATIONS.

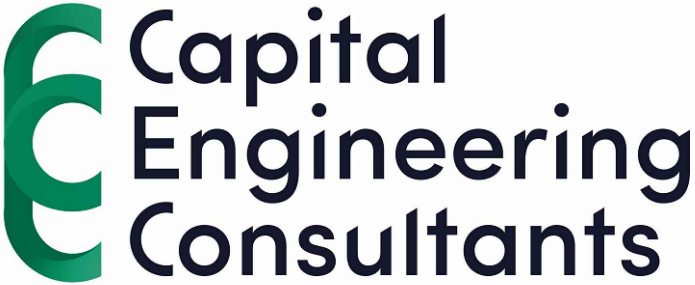


TYPICAL BASEMENT SHORING WALL  
PERIMETER DRAINAGE DETAIL  
NOT TO SCALE

- NOTES: –
- ALL SUB–SOIL DRAINAGE LINES SHALL BE MIN Ø100 SLOTTED PVC OR AGRICULTURAL PIPE WITH FILTER FABRIC/SOCK
  - AGGREGATE TRENCH SHALL BE MIN. 300mm WIDE WITH 10–20mm BLUE METAL
  - DISCHARGE SUB–SOIL DRAINAGE LINES INTO STORMWATER PITS AT 10m C–C MAXIMUM INTERVALS (WHERE PRACTICAL)
  - CLEAR–OUT POINTS TO BE PROVIDED FOR FLUSHING OF SUB–SOIL LINE AT HIGH END, INTERMEDIATE POINTS AND ALL CHANGES IN DIRECTION
  - REFER TO STRUCTURAL ENGINEERS DETAILS FOR SPACING OF VERTICAL STRIP DRAINS BEHIND SHOT–CRETE WALL

PROPOSED MIXED USE DEVELOPMENT  
58 ANDERSON STREET, CHATSWOOD NSW 2067

Scale 1:100 @ A1 Date 29/10/2024 Drawn S.C. Design S.C. Approved P.E.



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Rev	Description	By	Chk	Date
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Architect  
**DREW DICKSON ARCHITECTS**  
SUITE 2, GROUND FLOOR 183 ALEXANDER STREET  
CROWNS NEST NSW 2065  
INFO@DDA-AUSTRALIA.COM  
02 9001 3433  
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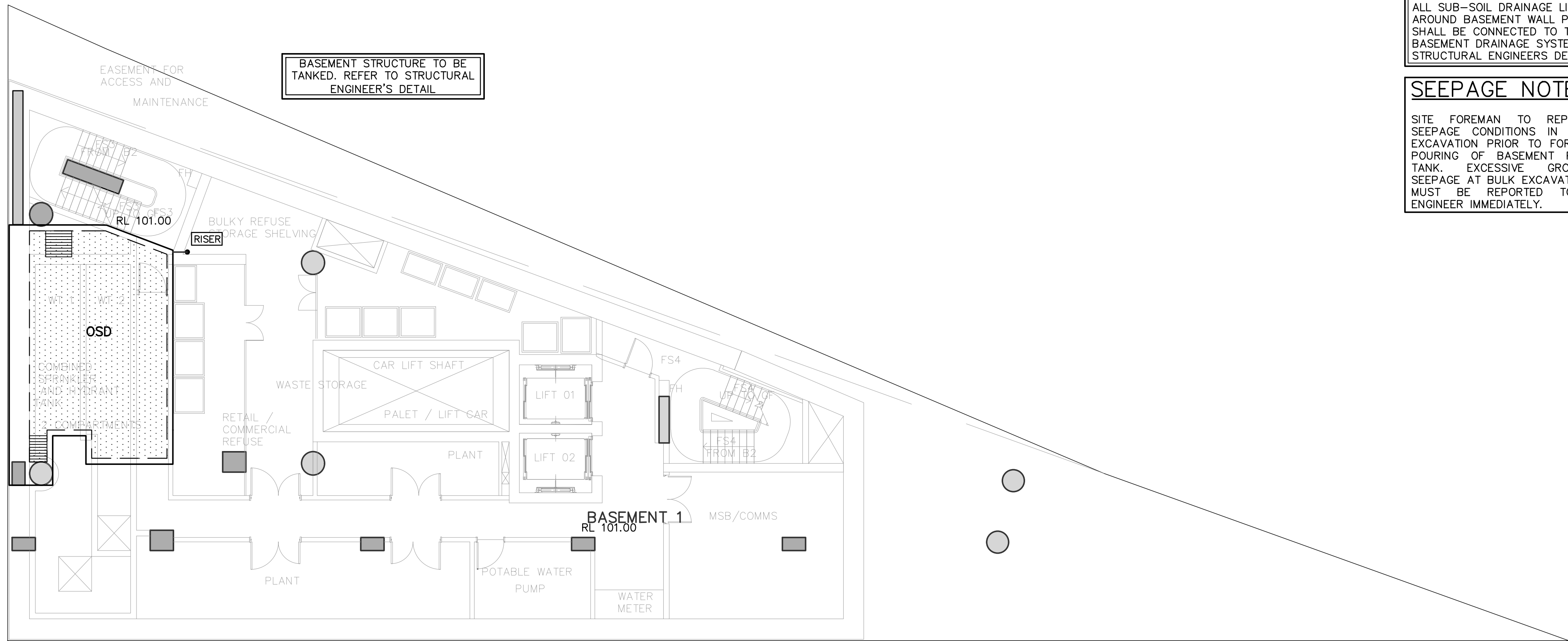
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APPROVED BY: *P. El-Bayeh* DATE: 29/10/2024  
**PAUL EL-BAYEH**  
B.E. (CIVIL), M.E. (Structural & Foundation)  
FRAust, CPEng, No. 3132740, NER, SPQD

Title  
**STORMWATER LAYOUT PLAN**  
**BASEMENT 2 FLOOR PLAN,**  
**NOTES & DETAILS**

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North  
Project Number **SW22329**  
Drawing Number **SW011**  
Revision **H**



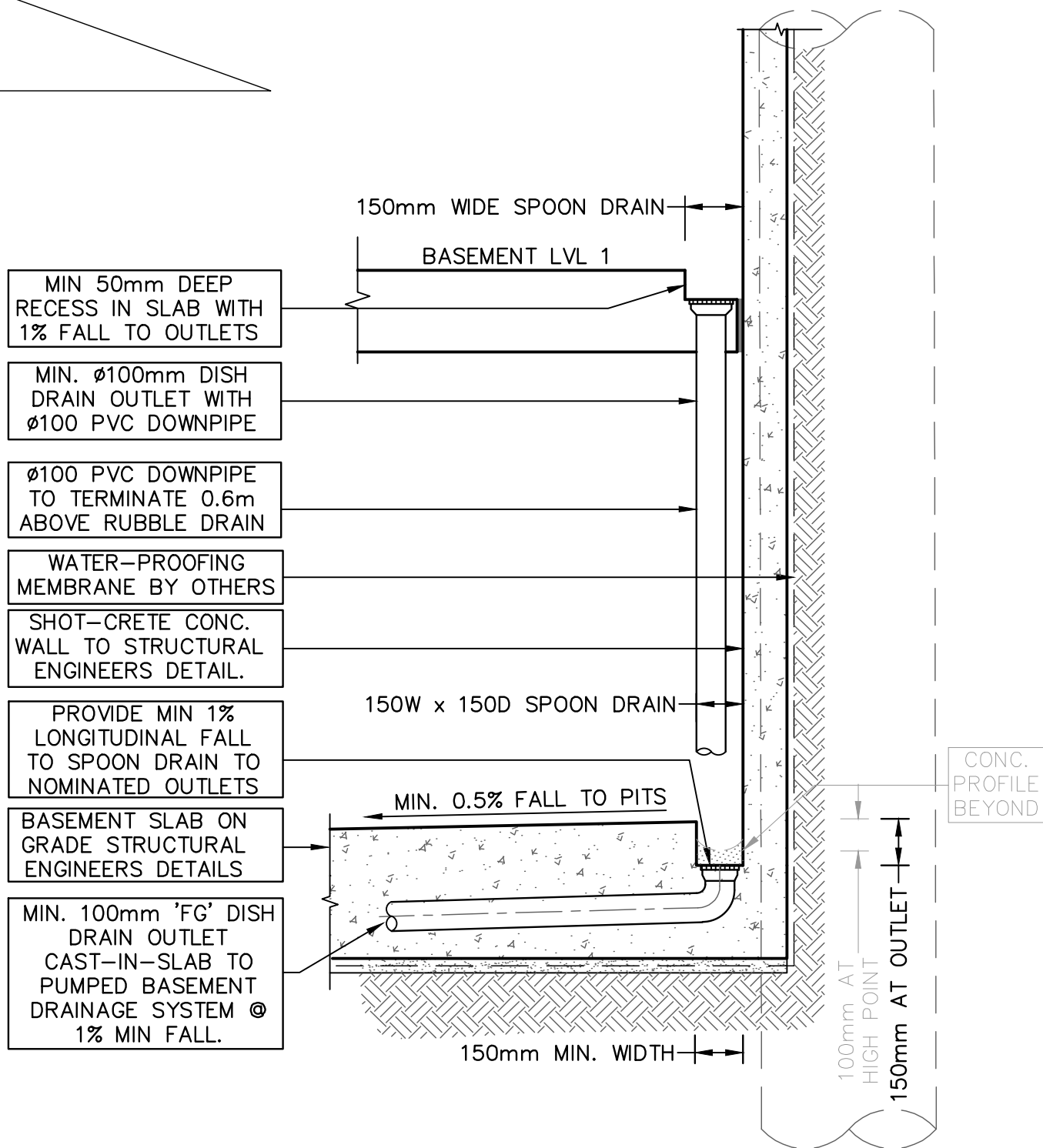


ALL SUB-SOIL DRAINAGE LINES LAID AROUND BASEMENT WALL PERIMETER SHALL BE CONNECTED TO THE BASEMENT DRAINAGE SYSTEM TO STRUCTURAL ENGINEERS DETAILS.

SEEPAGE NOTE:

SITE FOREMAN TO REPORT SITE SEEPAGE CONDITIONS IN BASEMENT EXCAVATION PRIOR TO FORMING AND POURING OF BASEMENT PUMP-OUT TANK. EXCESSIVE GROUNDWATER SEEPAGE AT BULK EXCAVATION LEVEL MUST BE REPORTED TO DESIGN ENGINEER IMMEDIATELY.

STORMWATER LAYOUT PLAN  
BASEMENT 1  
SCALE 1:100



TYPICAL BASEMENT SHORING WALL  
PERIMETER DRAINAGE DETAIL  
NOT TO SCALE

- NOTES: -
- ALL SUB-SOIL DRAINAGE LINES SHALL BE MIN #100 SLOTTED PVC OR AGRICULTURAL PIPE WITH FILTER FABRIC/SOCK
  - AGGREGATE TRENCH SHALL BE MIN. 300mm WIDE WITH 10-20mm BLUE METAL
  - DISCHARGE SUB-SOIL DRAINAGE LINES INTO STORMWATER PITS AT 10m C-C MAXIMUM INTERVALS (WHERE PRACTICAL)
  - CLEAR-OUT POINTS TO BE PROVIDED FOR FLUSHING OF SUB-SOIL LINE AT HIGH END, INTERMEDIATE POINTS AND ALL CHANGES IN DIRECTION
  - REFER TO STRUCTURAL ENGINEERS DETAILS FOR SPACING OF VERTICAL STRIP DRAINS BEHIND SHOT-CRETE WALL

PROPOSED MIXED USE DEVELOPMENT  
58 ANDERSON STREET, CHATSWOOD NSW 2067

Scale 1:100 @ A1 Date 29/10/2024 Drawn S.C. Design S.C. Approved P.E.



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Rev	Description	By	Chk	Date
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Architect  
**DREW DICKSON ARCHITECTS**  
SUITE 2, GROUND FLOOR 183 ALEXANDER STREET  
CROWNS NEST NSW 2065  
02 9001 3433  
info@ddaa-australia.com  
DDA-AUSTRALIA.COM

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APPROVED BY: *P. El-Bayeh* DATE: 29/10/2024  
PAUL EL-BAYEH  
B.E. (Civil), M.E. (Structural & Foundation)  
RE Ausl. CP Reg. No. 3132740, NER, RPFO, Engineers Australia

Title  
**STORMWATER LAYOUT PLAN  
BASEMENT 1 FLOOR PLAN,  
NOTES & DETAILS**

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North  
Project Number  
**SW22329**  
Drawing Number  
**SW012**  
Revision  
**H**



WILSON STREET

**OSD TANK**  
AREA = 37.3 Sq.m  
MAX DEPTH = 580 mm  
TOP WATER LEVEL = 104.15  
VOLUME REQUIRED = 18.53 Cu.m  
VOLUME PROVIDED = 20.33 Cu.m  
OSD DISCHARGE = 8.356 L/s  
ORIFICE DIAMETER = 68 mm  
ORIFICE CENTRELINE = 103.57

ADDITIONAL GRATED ACCESS POINT TO OSD TANK FOR MAINTENANCE & CROSS-VENTILATION

NOTE - ACHIEVE CL OF ORIFICE HIGHER THAN THE LEVEL OF THE TOP OF KIP TO AVOID DROWNED ORIFICE.

HATCHED AREA  
HARDSTAND  
BYPASSING OSD AREA  
= 25.8 Sq.m (5%)

CONNECT 150 uPVC TO EXISTING KERB IN-LET PIT AT INVERT LEVEL 102.95 IN ACCORDANCE WITH WILLOUGHBY CITY COUNCIL'S REQUIREMENTS.

ALL ROOF AREA TO BE COLLECTED BY RAINWATER OUTLETS AND CONNECTED TO DOWNPIPES. ALL DOWNPIPES TO CONNECT INTO ON-SITE DETENTION SYSTEM. FULL DETAILS OF ROOF DRAINAGE SHALL BE PROVIDED IN CC STAGE

## DESIGN NOTES:

THE SITE IS LOCATED IN WILLOUGHBY CITY COUNCIL

SITE AREA = 565m<sup>2</sup> (BY DP)

PROPOSED DEVELOPMENT IS A MIXED USE DEVELOPMENT, ON-SITE DETENTION IS REQUIRED. ON-SITE DETENTION HAS BEEN DESIGNED IN ACCORDANCE WITH WILLOUGHBY CITY COUNCIL'S TECHNICAL STANDARDS.

THIS SITE LOCATED IN ZONE 2.  
SSR = 360 Cu.m PER HA OF IMPERVIOUS AREA  
PSD = 170 L/S PER HA OF IMPERVIOUS AREA

TOTAL IMPERVIOUS AREA = 514.685m<sup>2</sup>

ON SITE DETENTION CALCULATION:

VOLUME OF STORAGE REQUIRED: 0.05147 X 360 =18.53 Cu.m  
PERMISSIBLE SITE DISCHARGE: 0.05147 X 170 X (1-0.05) =8.356 L/S

ALL STORMWATER PIPES TO HAVE A MINIMUM OF 100mm CONCRETE OR 300mm TOPSOIL COVER U.N.O.

INSTALL CLEAR OUT FOR INSPECTION AND MAINTENANCE PURPOSES WHERE REQUIRED (TYP).

ALL DOWNPIPES AND STORMWATER PIPES SHOWN ON PLAN ARE Ø100mm uPVC AND SLOPE AT 1% U.N.O (TYP).

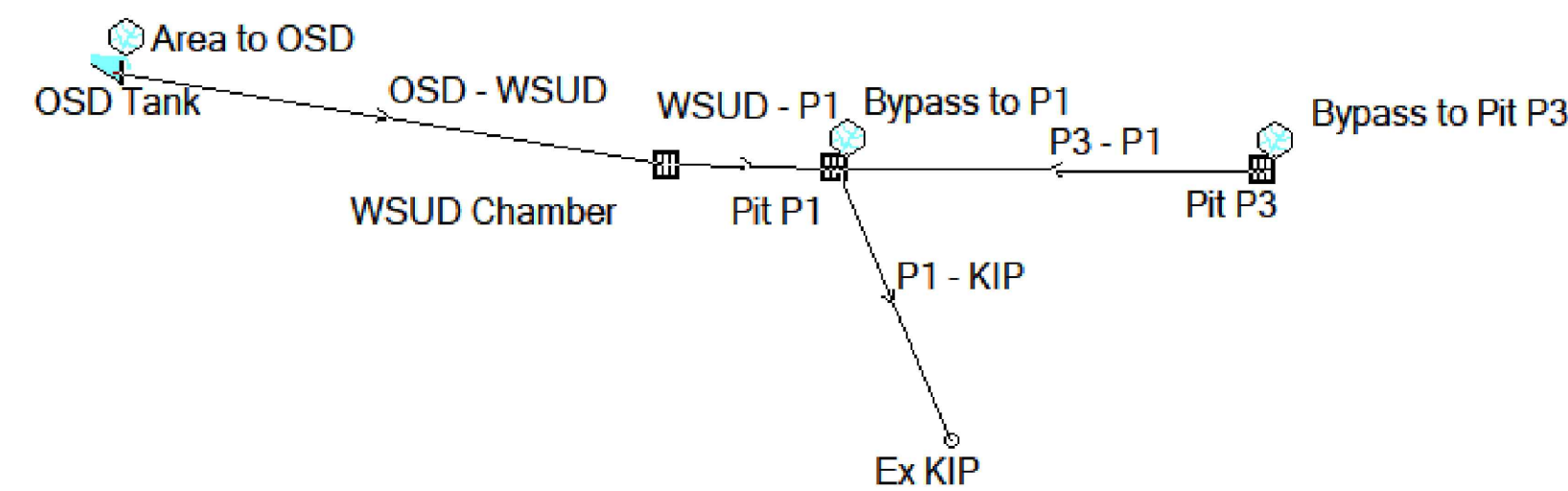
PROPOSED DOWNPIPE LOCATIONS ARE NOMINAL AND TO BE CONFIRMED DURING CONSTRUCTION (TYP).

ALL STORMWATER PITS AND PIPES TO BE A MINIMUM OF 0.6m CLEAR FROM EXISTING SEWER LINE (TYP).

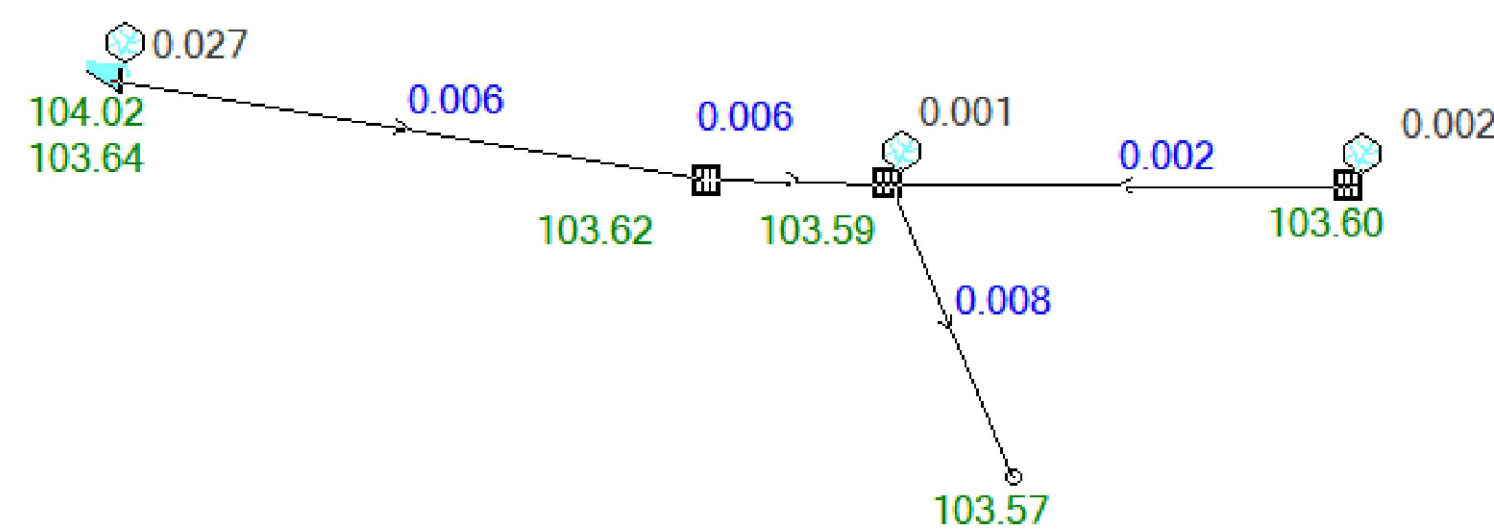
ALLOW FOR FILL & MINOR REGRADING OF FINISHED SURFACE TO ARCHIVE NOMINATED REDUCED LEVEL OF GRATED SURFACE INLET PITS, WHERE REQUIRED (TYP).

PROVIDE SUBSOIL DRAINAGE WITHIN LANDSCAPED AREAS & BEHIND RETAINING WALLS TO PREVENT LONG TERM SATURATION DURING PROLONGED WET WEATHER.

## STORMWATER LAYOUT PLAN GROUND FLOOR SCALE 1:100



## DRAINS MODEL LAYOUT NOT TO SCALE



## DRAINS MODEL 1% AEP RESULTS NOT TO SCALE

## PROPOSED MIXED USE DEVELOPMENT 58 ANDERSON STREET, CHATSWOOD NSW 2067

## DRAINS LONG-SECTION 1% AEP RESULTS (ASSUMING TAILWATER LEVEL @ TOK) NOT TO SCALE

## FOR COUNCIL APPROVAL ONLY (CONCEPT)

Scale 1:100 @ A1 Date 29/10/2024 Drawn S.C. Design S.C. Approved P.E.



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Architect  
**DREW DICKSON ARCHITECTS**  
SUITE 2, GROUND FLOOR, 183 ALEXANDER STREET  
CHOWS VEST NSW 2066  
info@ddaa.com.au  
02 9001 3433  
DDA-AUSTRALIA.COM

FOR COUNCIL / CONSTRUCTION CERTIFICATE ISSUE  
APPROVED BY:  
PAUL EL-BAYEH  
B.E. (CIVIL), M.E. (STRUCTURE & FOUNDATION)  
REASON: CPEng No. 3132740, NER, NPED.

DATE:  
29/10/2024

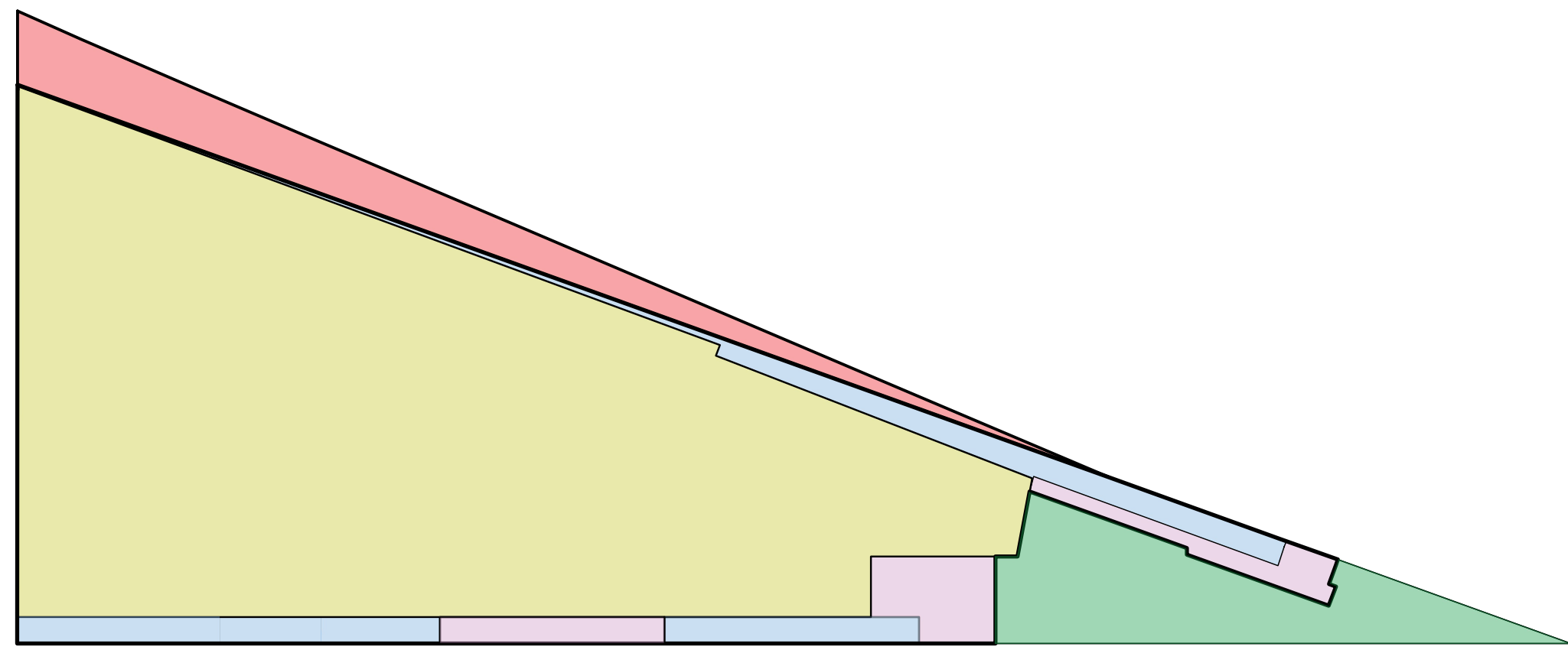
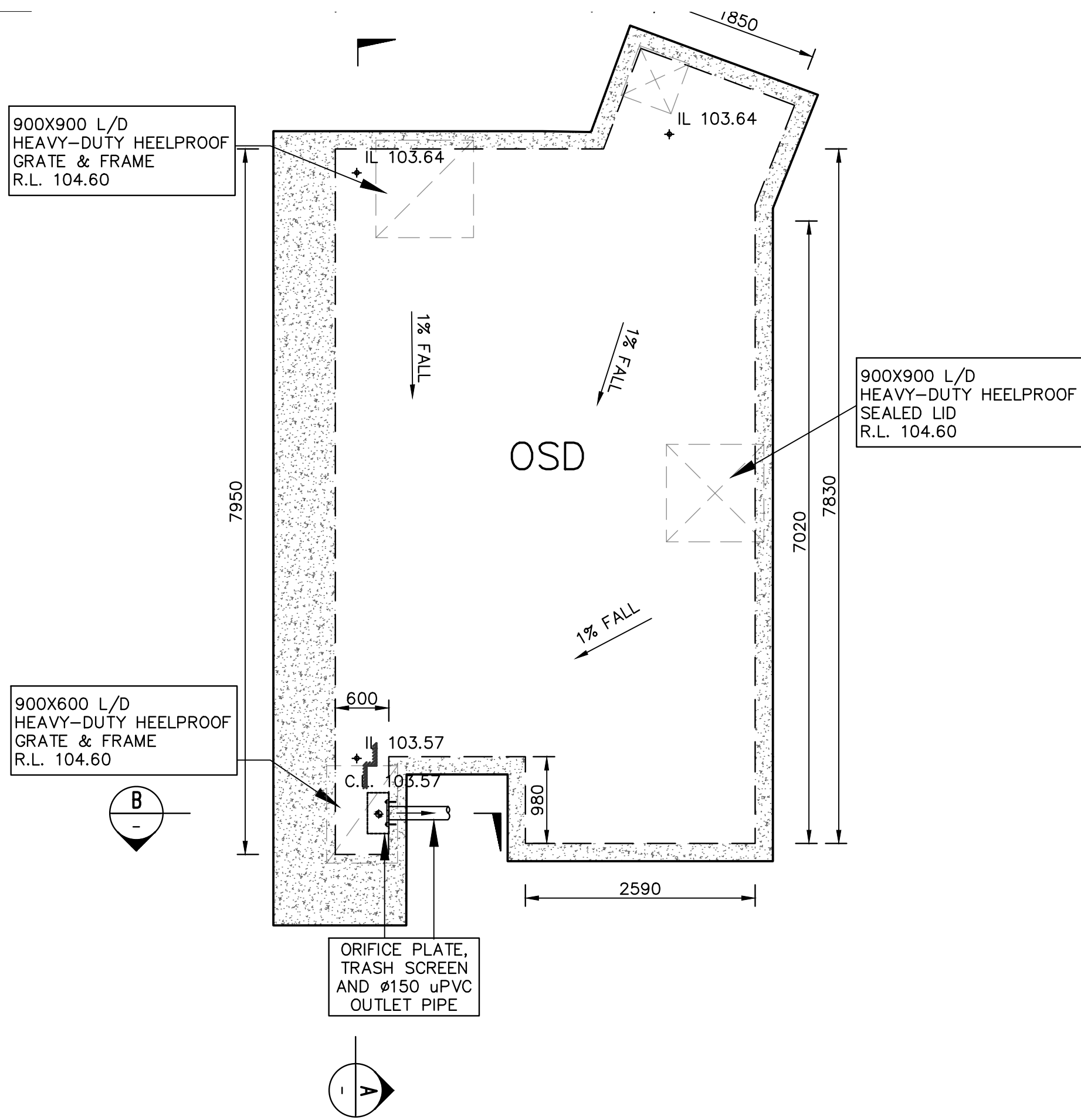


Title  
**STORMWATER LAYOUT PLAN  
GROUND FLOOR PLAN,  
NOTES & DETAILS**

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North  
Project Number  
**SW22329**  
Drawing Number  
**SW020**  
Revision  
**H**





POST-DEVELOPED CATCHMENT PLAN  
SCALE 1:200

- ROOF AREA TO OSD = 399.9 Sq.m
- HARDSTAND AREA BYPASS OSD = 25.8 Sq.m
- HARDSTAND AREA TO OSD = 42.32 Sq.m
- EASEMENT HARDSTAND AREA TO OSD = 46.67 Sq.m
- PERVIOUS AREA BYPASS OSD = 50.31 Sq.m

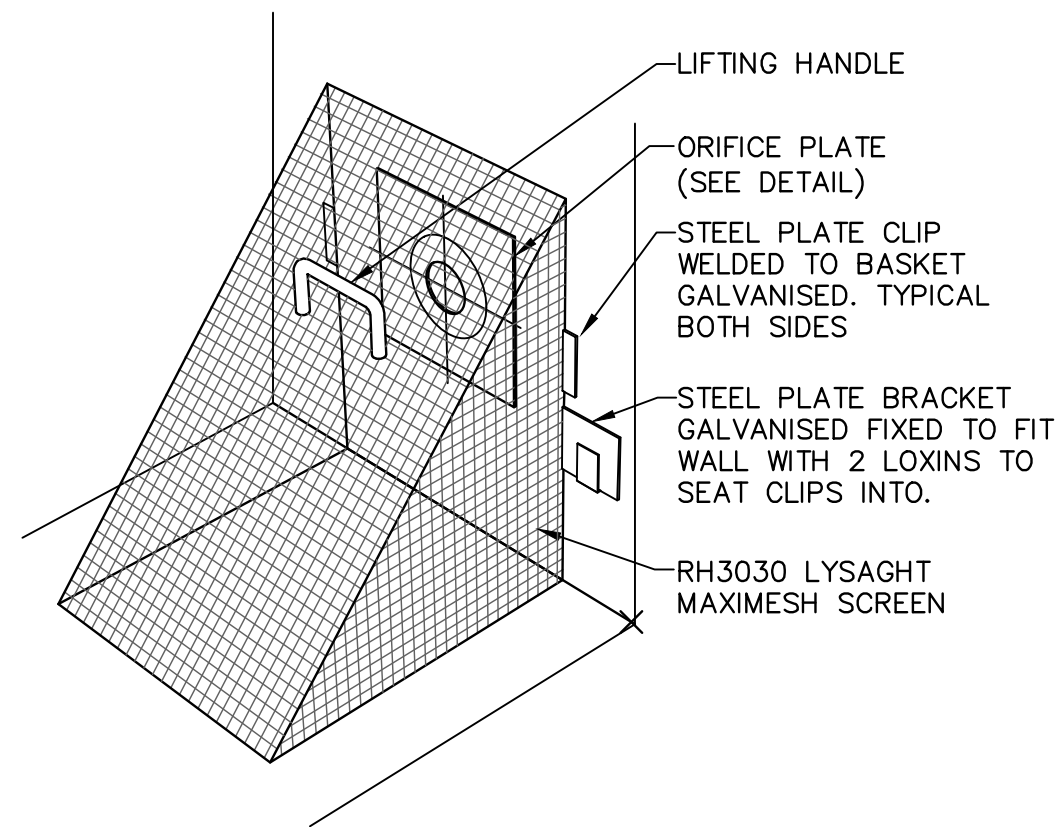
Orifice Diameter

C = 0.620  
Q = 8.356 l/s  
h = 0.58 m

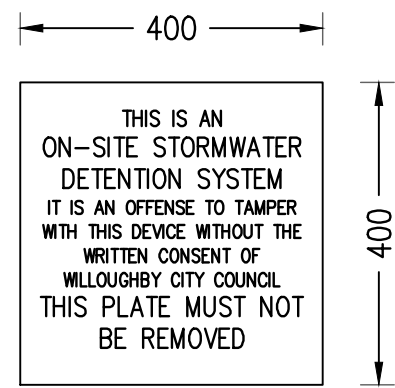
Orifice diameter d = 0.071 m

This equation relies on: Free discharge  
Sharp edged orifice

### ORIFICE CALCULATION



### TRASH SCREEN DETAIL NOT TO SCALE



NOTE: — PROVIDE OSD MARKER PLATE IN CLEAR AND VISIBLE LOCATION WITHIN OSD TANK/BASIN TO COUNCIL'S REQUIREMENTS

### OSD MARKER PLATE SCALE: 1:10



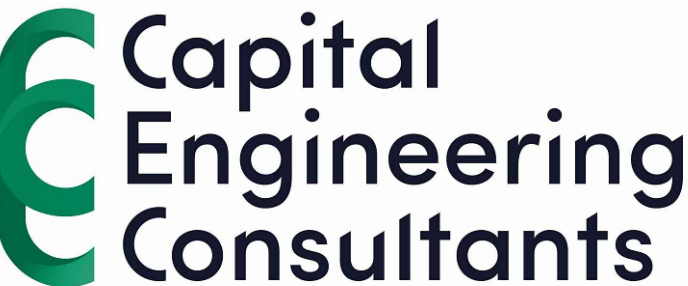
### CONFINED SPACE SIGN NOT TO SCALE

### KEY NOTES:

- INSTALL STEP IRONS FOR EASE OF ACCESS DURING MAINTENANCE OF DETENTION TANK TO COUNCIL SATISFACTION.
- INSTALL CONFINED SPACE SIGN ABOVE DETENTION TANK FOR PUBLIC AWARENESS AND WARNING.
- ALL STORMWATER PIPES ARE MIN. Ø100mm uPVC AND SLOPING @ 1.0% U.N.O (TYP).
- ALL BUILDING AND HYDRAULIC SERVICES TO BE PROPERLY CO-ORDINATED WITH STORMWATER PIPES AND ENSURE NO CLASHES ARE PRESENT DURING CONSTRUCTION (TYP).
- STORMWATER PIPE ARRANGEMENT TO BE CO-ORDINATED WITH STRUCTURAL SLAB AND BEAMS WHERE REQUIRED (TYP).

## PROPOSED MIXED USE DEVELOPMENT 58 ANDERSON STREET, CHATSWOOD NSW 2067

Scale 1:100 @ A1 Date 29/10/2024 Drawn S.C. Design S.C. Approved P.E.



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B	ISSUED FOR COORDINATION	Z.W./M.W.	09/12/2022

Rev Description By Chk Date

Architect  
DREW DICKSON ARCHITECTS  
SUITE 2, GROUND FLOOR 183 ALEXANDER STREET  
CROWNS NEST NSW 2065  
INFO@DDA-AUSTRALIA.COM  
02 9001 3433  
DDA-AUSTRALIA.COM

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APPROVED BY: PAUL EL-BAYEH  
DATE: 29/10/2024

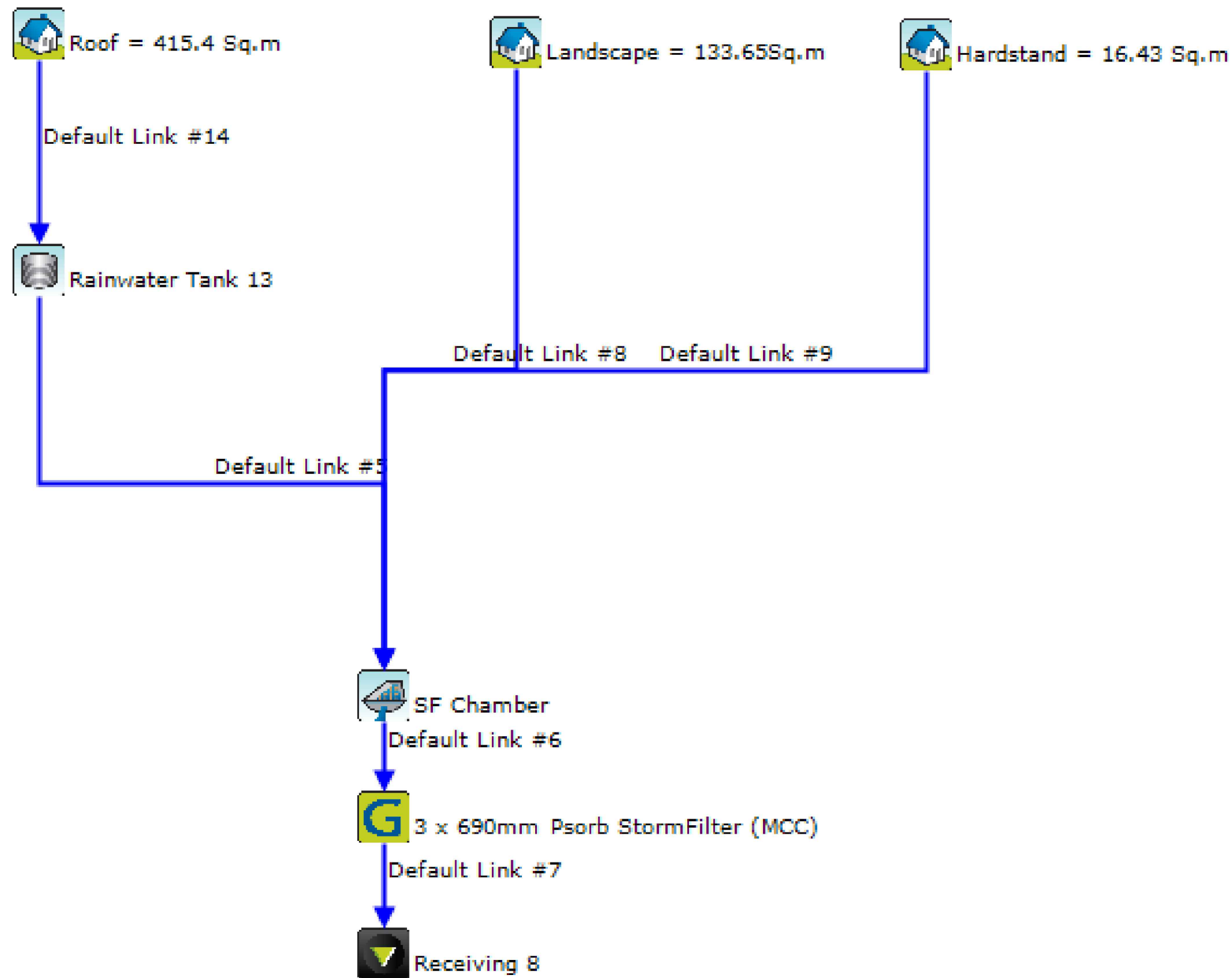
REGISTERED  
NER  
Engineers Australia

Title  
STORMWATER LAYOUT PLAN  
ON-SITE DETENTION  
SECTIONS & DETAILS

DO NOT SCALE DRAWING, USE FIGURED DIMENSIONS ONLY

North  
Project Number  
SW22329  
Drawing Number  
SW021  
Revision  
H

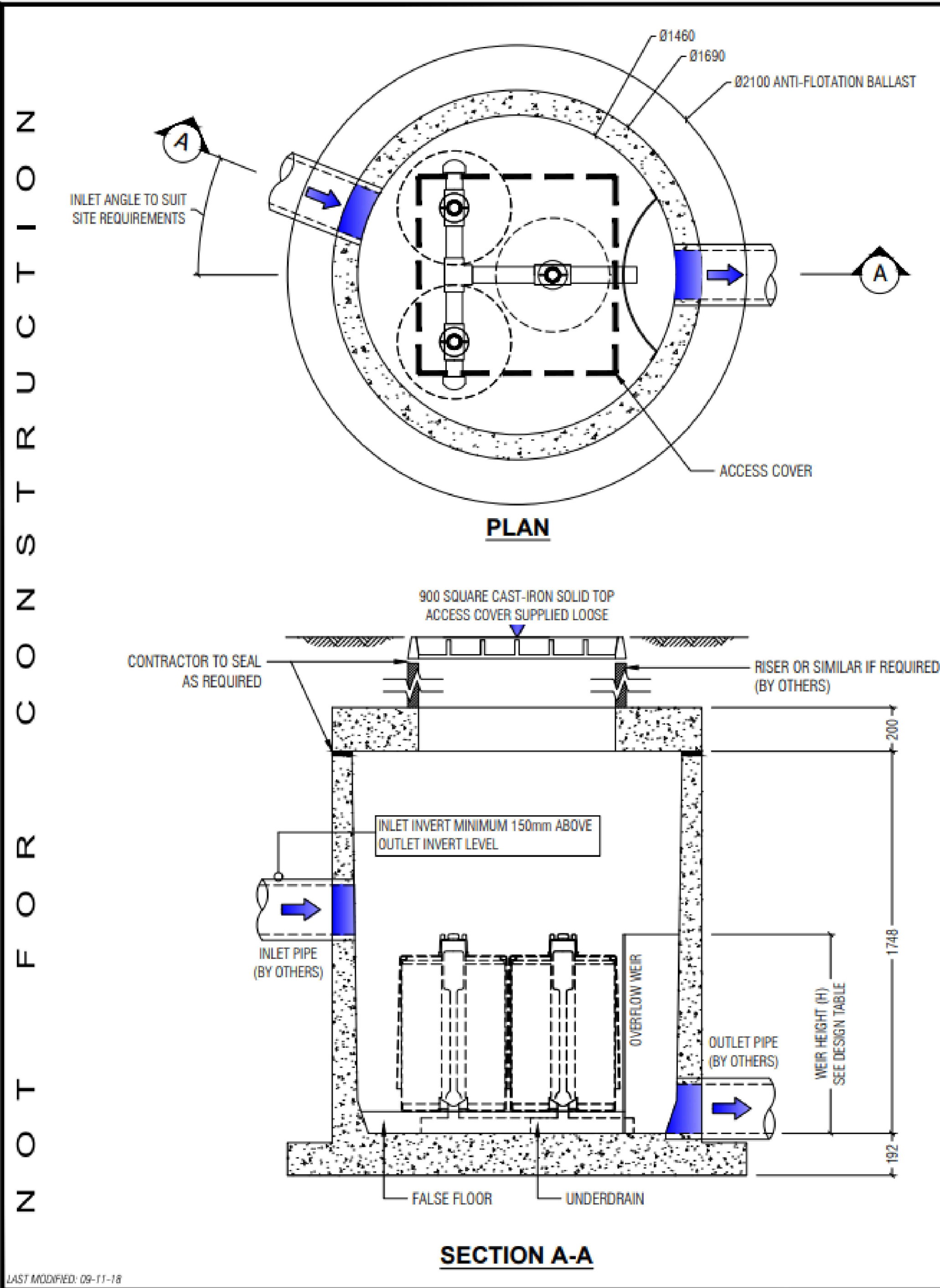




MUSIC MODEL

	Sources	Residual Load	% Reduction
Flow (ML/yr)	0.6442	0.6338	1.608
Total Suspended Solids (kg/yr)	25.34	2.088	91.76
Total Phosphorus (kg/yr)	0.1025	0.01535	85.02
Total Nitrogen (kg/yr)	1.376	0.5553	59.63
Gross Pollutants (kg/yr)	14.07	0	100

MUSIC RESULT



### STORMFILTER DESIGN TABLE

- STORMFILTER TREATMENT CAPACITY VARIES BY NUMBER OF FILTER CARTRIDGES INSTALLED.
- THE STANDARD CONFIGURATION IS SHOWN. ACTUAL CONFIGURATION OF THE SPECIFIED STRUCTURE(S) PER CERTIFYING ENGINEER WILL BE SHOWN ON SUBMITTAL DRAWING(S).
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 178mm.

CARTRIDGE NAME / SIPHON HEIGHT (mm)	690	460	310
CARTRIDGE PHYSICAL HEIGHT (mm)	840	600	600
TYPICAL WEIR HEIGHT [H] (mm)	920	690	540
CARTRIDGE FLOW RATE FOR ZPG MEDIA (L/s)	1.6	1.1	0.7
CARTRIDGE FLOW RATE FOR PSORB MEDIA (L/s)	0.9	0.46	0.39

### SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
NUMBER OF CARTRIDGES REQ'D	3		
SIPHON HEIGHT (310 / 460 / 690)			
MEDIA TYPE (ZPG / PSORB)			
WATER QUALITY FLOW RATE (L/S)			
HYDRAULIC CAPACITY (L/S)	90		
PIPE DATA:	I.L.	MATERIAL	DIAMETER
INLET PIPE #1			
INLET PIPE #2			
INLET PIPE #3			
OUTLET PIPE			
PRECAST MANHOLE WEIGHT	4100kg		
PRECAST LID WEIGHT	1100kg		

### GENERAL NOTES

- PRECAST STRUCTURE SUPPLIED WITH CORE HOLES TO SUIT OUTER DIAMETER OF NOMINATED PIPE SIZE / MATERIAL.
- PRECAST STRUCTURE SHALL MEET W80 WHEEL LOAD RATING ASSUMING A MAXIMUM EARTH COVER OF 2.0m AND A GROUND WATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. CERTIFYING ENGINEER TO CONFIRM ACTUAL GROUNDWATER ELEVATION. PRECAST STRUCTURE SHALL BE IN ACCORDANCE WITH AS3600.
- IF THE PEAK FLOW RATE, AS DETERMINED BY THE SITE CERTIFYING ENGINEER, EXCEEDS THE PEAK HYDRAULIC CAPACITY OF THE SYSTEM, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.
- ALL WATER QUALITY TREATMENT DEVICES REQUIRE PERIODIC MAINTENANCE. REFER TO OPERATION AND MAINTENANCE MANUAL FOR GUIDELINES AND ACCESS REQUIREMENTS.
- SITE SPECIFIC PRODUCTION DRAWING WILL BE PROVIDED ON PLACEMENT OF ORDER.
- DRAWING NOT TO SCALE.

### INSTALLATION NOTES

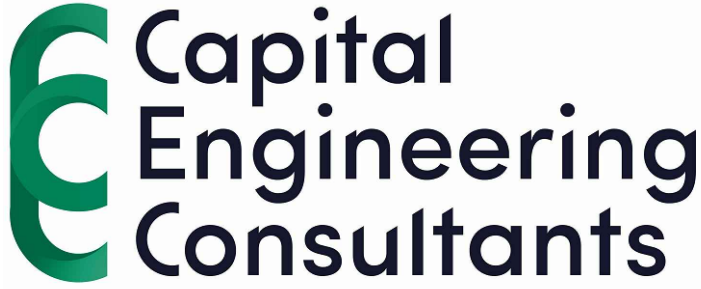
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY CERTIFYING ENGINEER.
- CONTRACTOR TO PROVIDE ALL EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE (LIFTING DETAIL PROVIDED SEPARATELY).
- CONTRACTOR TO APPLY SEALANT TO ALL JOINTS AND TO PROVIDE, INSTALL AND GROUT INLET AND OUTLET PIPES.

PHONE: 1300 354 722  
www.oceanprotect.com.au

OCEAN PROTECT  
3 CARTRIDGE STORMFILTER SYSTEM  
DN1460 MANHOLE  
SPECIFICATION DRAWING

PROPOSED MIXED USE DEVELOPMENT  
58 ANDERSON STREET, CHATSWOOD NSW 2067

Scale 1:100 @ A1 Date 29/10/2024 Drawn S.C. Design S.C. Approved P.E.



9630 0121  
8 Buller Street, North Parramatta, NSW 2151  
www.cec-au.com

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Architect  
**DREW DICKSON ARCHITECTS**  
SUITE 2, GROUND FLOOR, 183 ALEXANDER STREET  
CHOWS VEST NSW 2066  
02 9001 3433  
info@dda-australia.com  
dda-australia.com

FOR COUNCIL / CONSTRUCTION CERTIFICATE ISSUE	Title
APPROVED BY:  PAUL EL-BAYEH B.E. (Civil), M.E. (Structural & Foundation) REVAL, CPEng No. 3132140, NER, RPED.	DATE: 29/10/2024 

STORMWATER LAYOUT PLAN  
STORMFILTER SYSTEM  
SECTIONS & DETAILS

A1 0 20 40 60 80 100

North

Project Number  
**SW22329**

Drawing Number  
**SW022**

Revision  
**H**

DO NOT SCALE DRAWING, USE FIGURED DIMENSIONS ONLY

FOR COUNCIL APPROVAL ONLY (CONCEPT)



KEY NOTES:

INSTALL STEP IRONS FOR EASE OF ACCESS DURING MAINTENANCE OF DETENTION TANK TO COUNCIL SATISFACTION.

INSTALL CONFINED SPACE SIGN ABOVE DETENTION TANK FOR PUBLIC AWARENESS AND WARNING.

ALL STORMWATER PIPES ARE MIN. Ø100mm uPVC AND SLOPING @ 1.0% U.N.O (TYP).

ALL BUILDING AND HYDRAULIC SERVICES TO BE PROPERLY CO-ORDINATED WITH STORMWATER PIPES AND ENSURE NO CLASHES ARE PRESENT DURING CONSTRUCTION (TYP).

STORMWATER PIPE ARRANGEMENT TO BE CO-ORDINTED WITH STRUCTURAL SLAB AND BEAMS WHERE REQUIRED (TYP).

ALL ROOF AREA TO BE COLLECTED BY RAINWATER OUTLETS AND CONNECTED TO DOWNPIPES. ALL DOWNPIPES TO CONNECT INTO ON-SITE DETENTION SYSTEM. FULL DETAILS OF ROOF DRAINAGE SHALL BE PROVIDED IN CC STAGE

RWT CALCULATIONS:  
TWL = 118.38  
AVERAGE DEPTH = 720mm  
AREA = 13.89m<sup>2</sup>  
VOLUME PROVIDED = 10.00m<sup>3</sup>

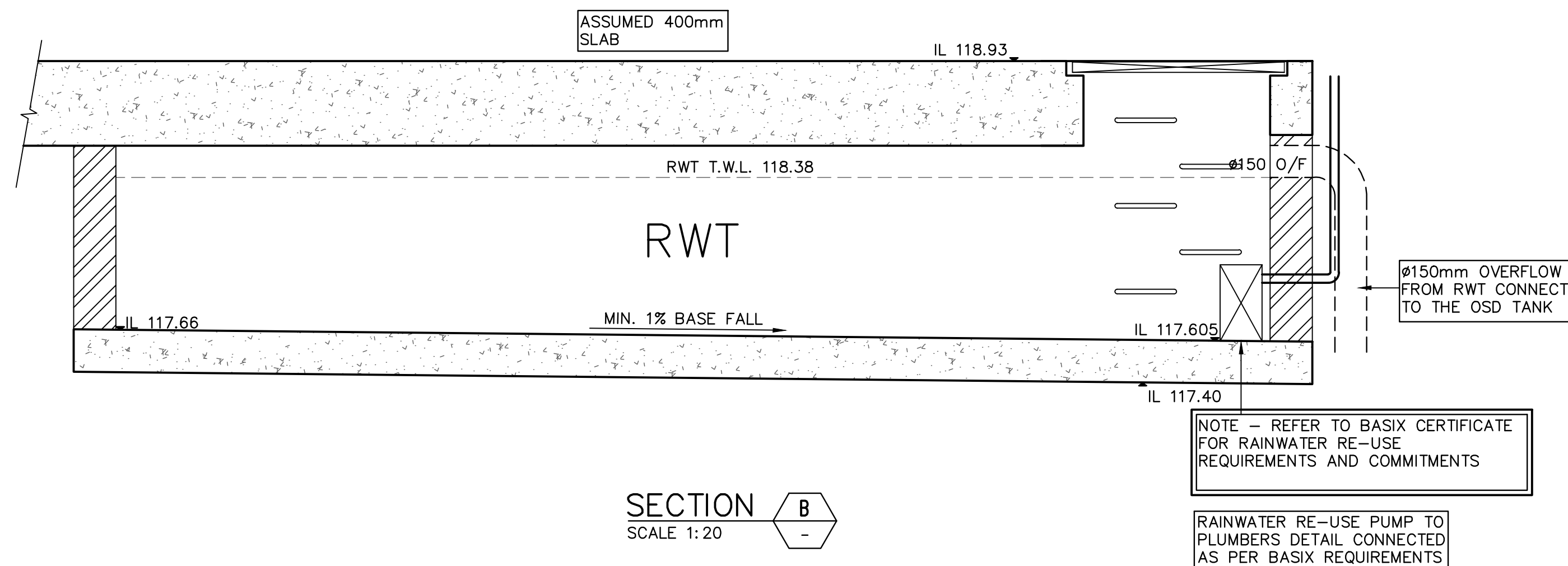
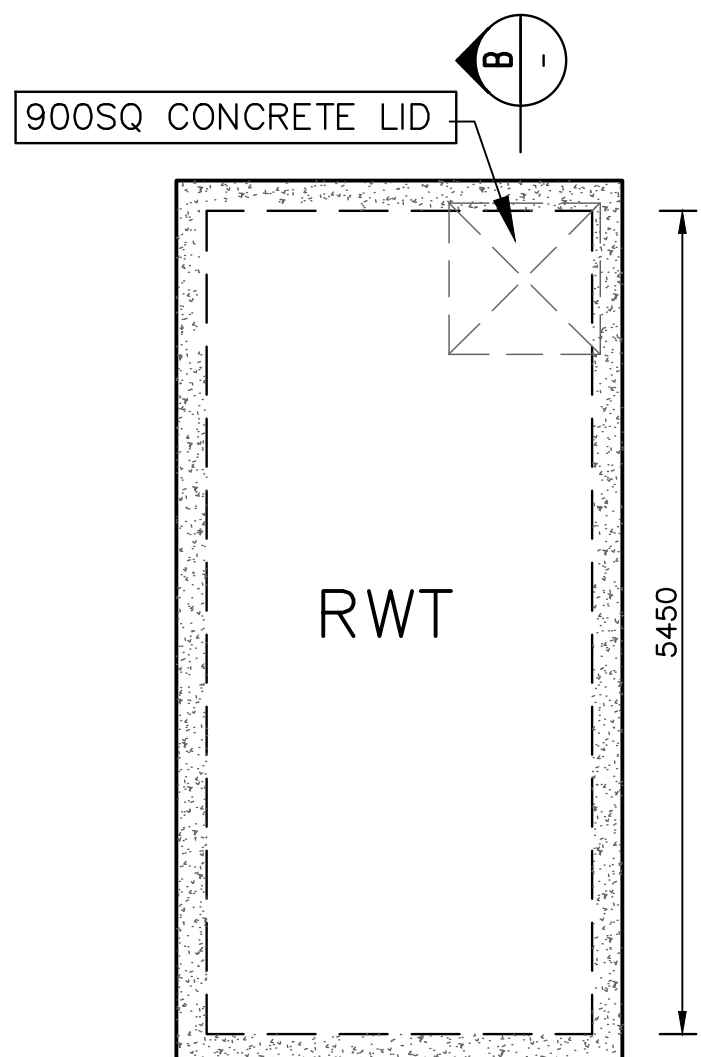
Ø150  
DP1

RL 118.93  
RWT

TERRACE  
RL 118.93

RL 117.93

STORMWATER LAYOUT PLAN  
LEVEL 3  
SCALE 1:100

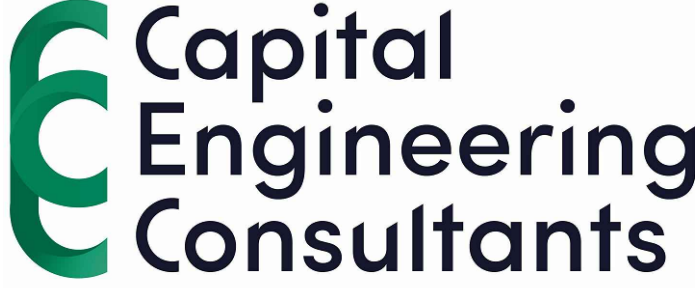


LEGEND:  
BACKGROUND IS YELLOW  
TEXT IS WHITE ON BLACK  
BACKGROUND

DETAIL  
RAINWATER SIGN  
SCALE 1:10

PROPOSED MIXED USE DEVELOPMENT  
58 ANDERSON STREET, CHATSWOOD NSW 2067

Scale 1:100 @ A1 Date 29/10/2024 Drawn S.C. Design S.C. Approved P.E.



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8 Buller Street, North Parramatta, NSW 2151  
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Rev	Description	By	Chk	Date

Architect  
**DREW DICKSON ARCHITECTS**  
SUITE 2, GROUND FLOOR 183 ALEXANDER STREET  
CHOWS VEST NSW 2165  
02 9001 3433  
info@dda-australia.com  
dda-australia.com

FOR COUNCIL / CONSTRUCTION CERTIFICATE ISSUE  
APPROVED BY: *P. El-Bayeh* DATE: 29/10/2024  
**PAUL EL-BAYEH**  
B.E. (CIVIL), M.E. (Structural & Foundation)  
PEAust, CPRef No. 3132140, NER, RPFO

Title  
**STORMWATER LAYOUT PLAN  
LEVEL 3 PLAN, NOTES &  
DETAILS**

DO NOT SCALE DRAWING, USE FIGURED DIMENSIONS ONLY

North

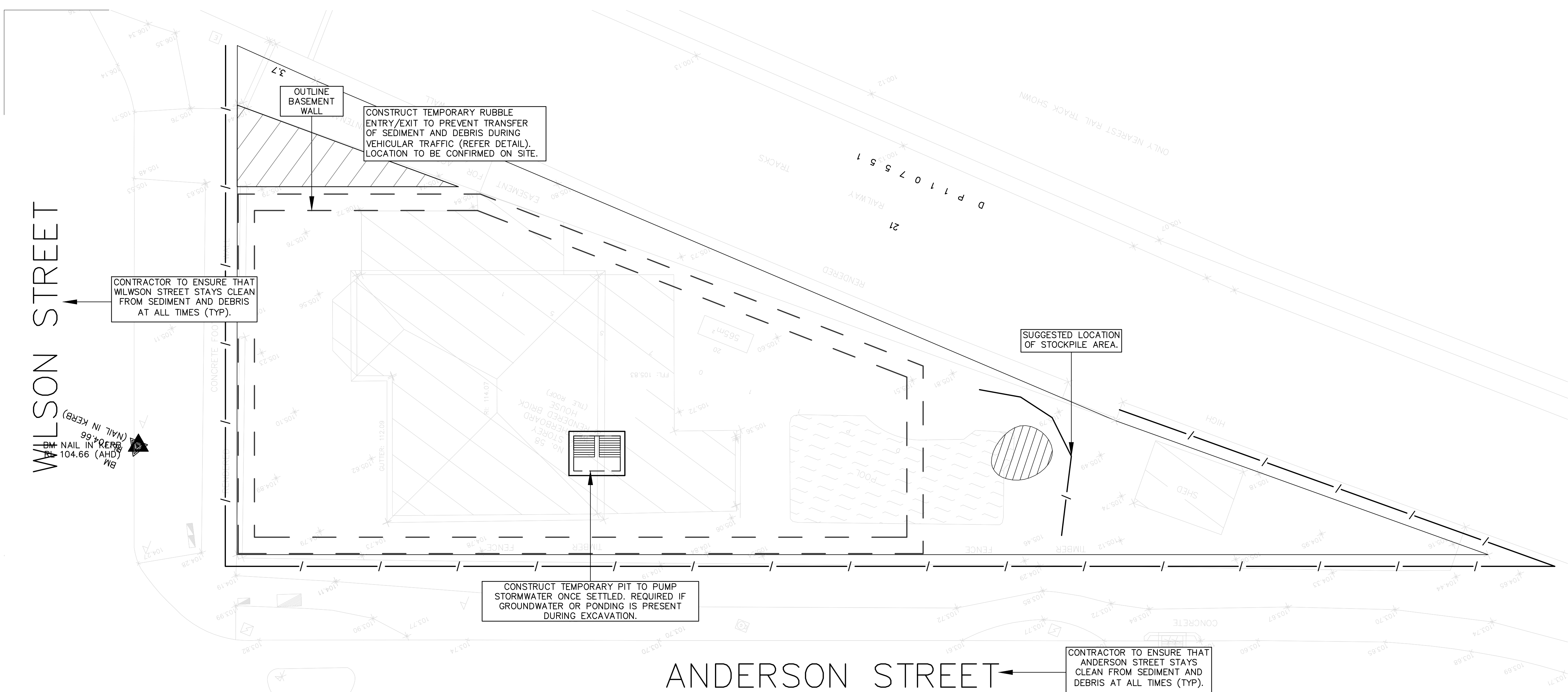
Project Number  
**SW22329**

Revision

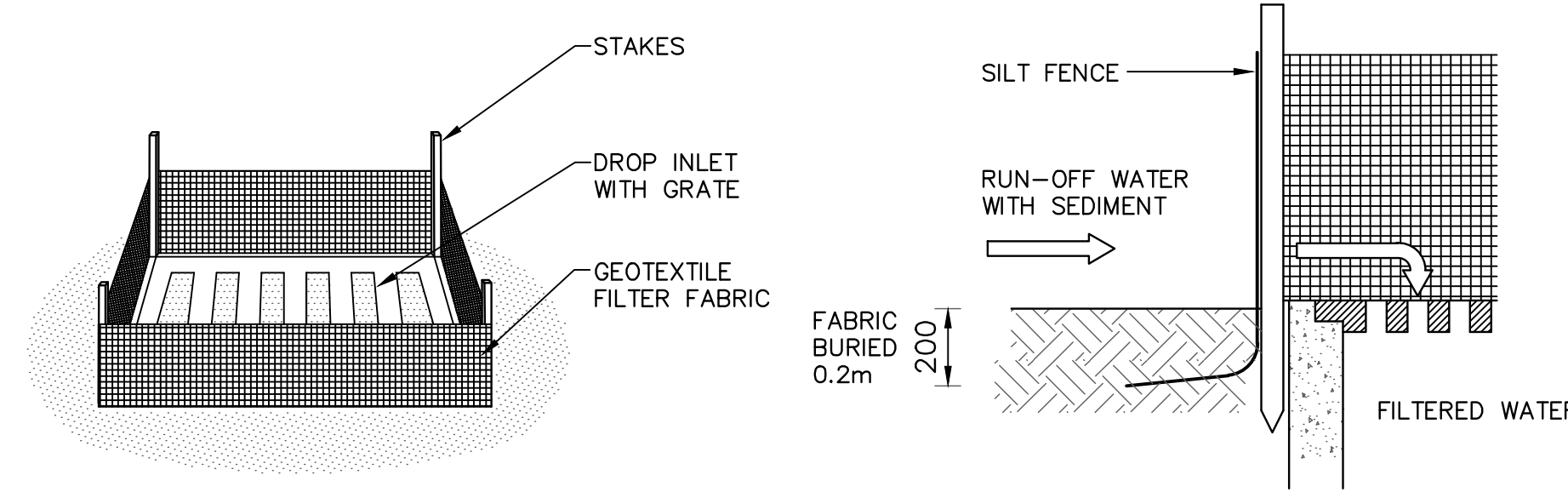
Drawing Number  
**SW030**

**H**

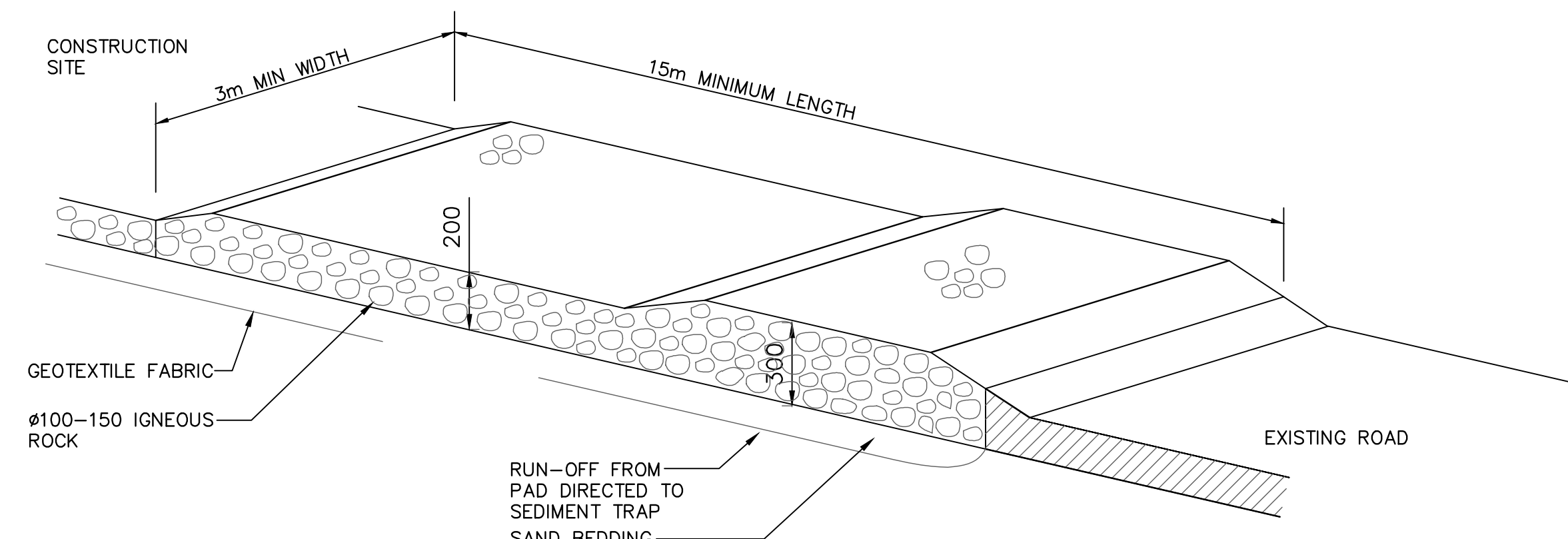




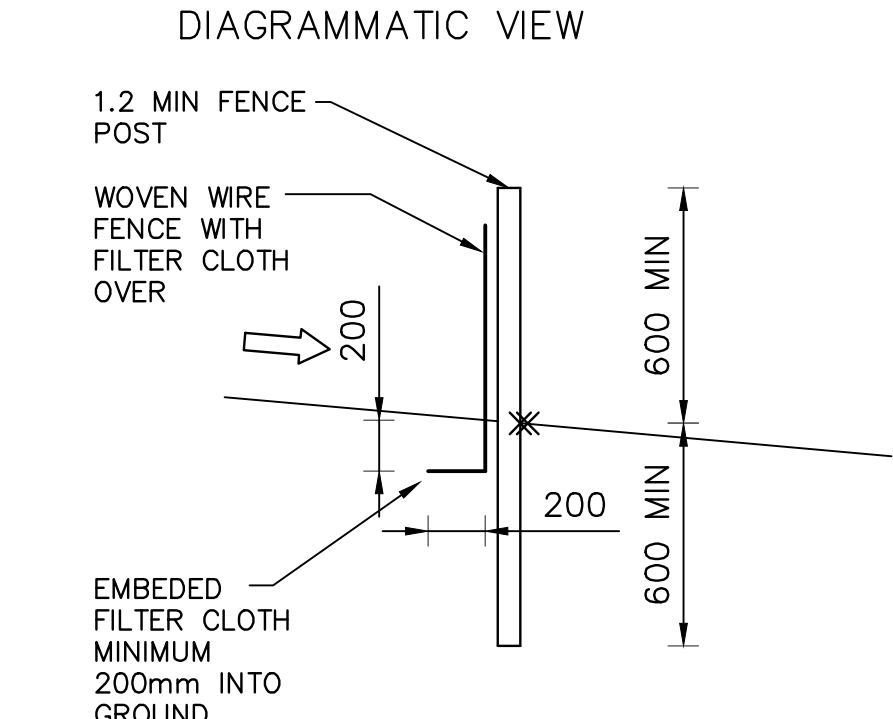
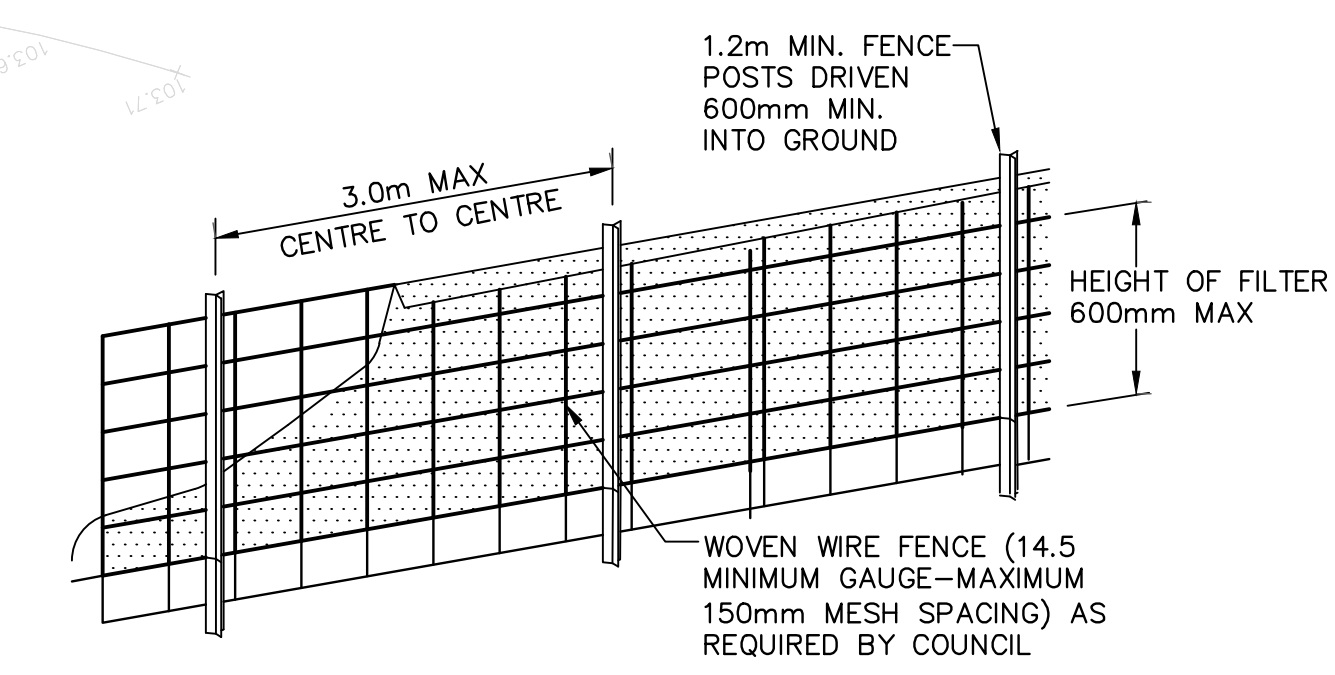
EROSION & SEDIMENT CONTROL PLAN  
SCALE 1: 200



SUMP SEDIMENT TRAP DETAIL  
NOT TO SCALE



TEMPORARY CONSTRUCTION EXIT (RUBBLE ALTERNATIVE)  
NOT TO SCALE



SEDIMENT FENCE DETAIL  
NOT TO SCALE

## EROSION CONTROL

BEFORE EARTHWORKS CAN COMMENCE THE EROSION & SEDIMENT CONTROL MEASURES MUST BE IN PLACE.

DURING THE CONSTRUCTION PERIOD, THESE CONTROL MEASURES WILL NEED TO BE INSPECTED & MAINTAINED REGULARLY, ESPECIALLY AFTER STORM EVENTS, BY THE CONTRACTOR.

ALL WORK IS TO BE CARRIED OUT TO PREVENT EROSION, CONTAMINATION & SEDIMENTATION OF THE STORAGE SITE, SURROUNDING AREAS & DRAINAGE SYSTEMS.

MINIMIZE DISTURBED AREA COVERED WITH NATURAL VEGETATION. ONLY THOSE AREAS DIRECTLY REQUIRED FOR CONSTRUCTION ARE TO BE DISTURBED.

ISOLATE EXISTING STORMWATER PITS WITH STRAW BALES OR SILT TRAPS TO FILTER ALL INCOMING FLOWS.

DO NOT STOCKPILE EXCAVATED MATERIAL ON THE ROAD WAY.

DIVERT CLEAN WATER FROM UNDISTURBED AREAS AROUND THE WORKING AREAS.

CONSTRUCTION ENTRY/EXIT SHALL BE VIA THE LOCATION NOTED ON THE DRAWING. CONTRACTOR SHALL ENSURE ALL DROPPABLE SOIL & SEDIMENT IS REMOVED PRIOR TO CONSTRUCTION TRAFFIC EXITING SITE. CONTRACTOR SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING AND LEAVING THE SITE DO SO IN A FORWARD DIRECTION.

ADOPT TEMPORARY MEASURES AS MAY BE NECESSARY FOR EROSION & SEDIMENT CONTROL, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- DRAINS: TEMPORARY DRAINS AND CATCH DRAINS.
- SPREADER BANKS OR OTHER STRUCTURES: TO DISPERSE CONCENTRATED RUNOFF.
- SILT TRAPS: CONSTRUCTION AND MAINTENANCE OF SILT TRAPS TO PREVENT DISCHARGE OF SCOURED MATERIAL TO DOWNSTREAM AREAS.

AFTER RAIN, INSPECT, CLEAN, AND REPAIR IF REQUIRED, TEMPORARY EROSION & SEDIMENT CONTROL MEASURES.

REMOVE TEMPORARY EROSION & SEDIMENT CONTROL MEASURES WHEN THEY ARE NO LONGER REQUIRED.

COMPLY WITH THE REQUIREMENTS OF LANDCOM'S MANAGING URBAN STORMWATER - SOIL AND CONSTRUCTION 'THE BLUE BOOK' LATEST EDITION

THE EROSION & SEDIMENT CONTROL PLAN PROVIDED IS ONLY INDICATIVE. THE CONTRACTOR SHOULD PREPARE A DETAILED ESCP SUITABLE FOR THE SPECIFIC SITE CONDITIONS

## PROPOSED MIXED USE DEVELOPMENT 58 ANDERSON STREET, CHATSWOOD NSW 2067

Scale 1:100 @ A1 Date 29/10/2024 Drawn S.C. Design S.C. Approved P.E.



9630 0121  
8 Buller Street, North Parramatta, NSW 2151  
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Architect  
**DREW DICKSON ARCHITECTS**  
SUITE 2, GROUND FLOOR 183 ALEXANDER STREET  
CHERRYBROOK NSW 2126  
02 9001 3433  
info@dda-australia.com  
dda-australia.com

FOR COUNCIL / CONSTRUCTION CERTIFICATE ISSUE  
APPROVED BY:  
*P. EL-BAYEH*  
**PAUL EL-BAYEH**  
B.E. (Civil), M.E. (Structural & Foundation)  
FRAust, CPEng, No. 3132140, NER, RPED

FOR COUNCIL APPROVAL ONLY (CONCEPT)  
Title  
**STORMWATER LAYOUT PLAN  
EROSION & SEDIMENT CONTROL  
PLAN, NOTES & DETAILS**

DO NOT SCALE DRAWING, USE FIGURED DIMENSIONS ONLY

North

Project Number  
**SW22329**

Drawing Number  
**ER001**

Revision  
**H**